



HALEY WARD

200 Griffin Road, Unit 14, Portsmouth, NH 03801

25 November 2024

Samantha Collins, Chair
City of Portsmouth Conservation Commission
1 Junkins Avenue
Portsmouth, NH 03801

Re: Pease Development Authority (PDA) Wetland Conditional Use Permit Request at 282 Corporate Drive, Great Circle Catering - Port City Air, Catering and Office Renovation Project, Conservation Commission Submission

Dear Ms. Collins:

On behalf of Port City Air and Great Circle Catering, we hereby submit the attached application material and plans and request to be placed on the Agenda for your **December 11, 2024, Conservation Commission Meeting**. The property is shown on the City of Portsmouth Assessors Map 315 as Lot 2 and is located at 282 Corporate Drive within the Pease Airport Business Commercial (ABC) Zoning District. No changes to the existing Lease Area are proposed. The site is currently vacant; until 2022 it was the site of Stenhouse Publishing and the Shaines and McEachern Law Office. The proposal presented herein involves the renovation of the building to be re-purposed with Great Circle Catering as a tenant, and the remainder of the building to be dedicated to unspecified tenant office space.

The application is a Pease Development Authority Wetland Conditional Use Permit request for the above-mentioned site. The project consists of renovations to the interior of the building to create 6,700 square feet of space to be leased to Great Circle Catering for food preparation and 7,700 square feet of space to be undesignated tenant office space, with the associated and required site improvements. No changes to the building exterior are contemplated. The project does not require any variances, but does propose construction in an existing wetland buffer and swale, therefore a Pease Conditional Use Permit for wetland and buffer impact as well as a permit from the NH DES for wetland impact will be required. Please find the **Site Plan Set** showing, on Sheet 9 – C5, the impacts to the wetland and the 25-foot Pease Development Authority wetland buffer. A section of the swale that exited the parking lot has been filled in over time and will be reconstructed, and an existing swale in the wetland area that has also filled in will be maintained, and a new rain garden treatment area will be constructed partially in the wetland buffer. The impacts and the associated application materials are detailed in the attached Wetland Buffer permit application and plan set.

The site parking lot currently drains to the north and the south along a ridge line roughly in the middle of the parking area. The pavement on the north side of the parking area has experienced degradation due to water intrusion. This situation is a result of the gradual filling of the existing drainage swale, and as a consequence water backing up



into the parking area. The proposed plan includes the repair of the swales to remove water that currently ponds on the north side of the parking area. Additionally, that area of delaminated pavement will be removed and replaced with a proposed rain garden. The rain garden will provide treatment of surface parking lot runoff from the north half of the parking area. Along the south or street side of the parking area, the parking lot will be regraded to provide positive pitch from the southwest corner of the parking lot to the east along the south edge of the parking lot out to the drainage in Corporate Drive, which is being reconstructed. The entire parking lot and driveway are scheduled to be milled and repaved, to the existing grades along the loop driveway, and some adjusted grades along the main parking area and the southerly entrance, to tie into a new street catch basin. The site roof is flat and has an existing drain roof drain system which ties into street drainage.

Natural Features / Wetlands

The site contains a 63,677 square foot wetland complex to the north and east and a small wetland area on the southwest corner of the site. The wetlands have a PDA required 25-ft setback which is shown on the plans. The wetland buffer area currently includes pavement area along with the existing dumpster pad and a concrete slab. A substantial portion of the pavement in the buffer, the dumpster pad, and the concrete pad area will be removed from the buffer in this proposal. The work will improve the wetland buffer with the removal of impervious surface, provide a rain garden and re-work an existing swale in failure which will provide treatment of the pavement run-off. Additionally, the site edge is currently overgrown with invasive bittersweet vines. Those vines will be removed as a part of this project, and that will allow for natural vegetation to replace the canopy edge.

The following details the square foot wetland and wetland buffer impacts:

- Permanent Wetland Buffer Impact – 4,983 SF. This impact is for re-grading the ground area to create the rain garden and re-constructing the existing swale which has filled with debris over the years of operation.
- Temporary Wetland Buffer Impact – 1,086 SF. This impact is for removing an existing concrete pad with no current purpose and bringing the buffer area back to vegetation.
- Wetland Impact – 1,448 SF. This impact is for re-grading the ground area to re-construct the existing swale which has filled with debris over the years of operation. The swale perpendicular to the swale, which is the parking lot drainage connection, has also filled in with sediment and needs to be restored.

A PDA Conditional Use Permit for the wetland and 25-foot wetland buffer impacts has been filed with the Pease Development Authority. As a part of the approval, the Portsmouth Conservation Commission is required to perform a review of the request, and make any recommendations. This review is framed by the PDA Wetland Buffer regulations. As such, we submit the following:



Per the Pease Development Authority Ordinance, *Article 304 – A.08*, use of the wetland buffer requires a Conditional Use Permit. While Section 304 – A.07(9) allow drainage ways and stormwater treatment structures to be constructed as allowed use of the buffer, the removal of the pavement and concrete pads does not qualify. This application includes all of the work in an abundance of regulatory permitting caution.

According to the Pease Development Authority Ordinance, *Article 304 – A.08 (f) Criteria for Approval*, the proposal shall comply with the following criteria:

1. The land is reasonably suited to the use.

The proposal is to remove existing non-conforming site impervious surfaces improvements and create stormwater treatment enhancements. Given that the existing lot currently contains existing commercial site development, we would submit that the land is reasonably suited to the revised use, given the proposed alterations.

2. There is no alternative location outside of the wetland buffer that is feasible and reasonable for the proposed use.

Due to the location of the existing swale(s) and pads, which are within the wetland and wetland buffers, the location of the concrete pad removal and swale re-grading work are fixed. The required parking for the site use dictates the extent of pavement which can be removed and still provide conforming parking. The rain garden construction following the pavement removal work is set as far away from the resource as possible to achieve the required rain garden sizing.

3. There will be no adverse impact on the wetland functional values of the site or surrounding properties.

We believe the proposal will not significantly impact on the existing wetland resource located adjacent to the site and its current functions and values. To the contrary we believe the project will be a benefit. The proposed project removes impervious surfaces within the wetland buffer, and provides enhanced stormwater treatment. Since the project will improve water quality entering the nearby wetland resource the revisions will have no adverse impact on the wetland functional values and the surrounding properties.

4. Alteration of the natural vegetative state or managed woodland will occur only to the extent necessary to achieve construction goals.

The proposed project does not include alteration (other than grading) of any naturally vegetated area to accommodate the work at the site. The plans call for some removal of invasive species in the natural woodland area, which is an improvement over the existing condition.



5. Potential Impacts have been avoided to the maximum extent practicable and unavoidable impacts have been minimized.

The project represents the alternative with the least adverse impacts to areas and environments while allowing reasonable re-use of the property. The proposal avoids the wetland buffer to the greatest extent practicable, while providing reasonable re-use for the property owner. The project also provides numerous components which will serve to improve stormwater quality, treatment, and infiltration on the subject parcel.

Please find included in this submission the PDA Conditional Use Permit Application, the Wetland Delineation verification, as well as an Inspection and Maintenance Plan.

We look forward to an in-person presentation at your meeting and some discussion to complete your recommendation to the Portsmouth Planning Board. Please contact me if you have any questions or concerns regarding this submission.

Respectfully submitted,

John Chagnon, PE
Project Manager

P:\NH\5010175-Port_City_Air\843.03-282 Corporate Dr., Portsmouth - JRC\2024 Site Plan\Applications\Portsmouth CUP Application\Conservation Commission CUP Letter 11-25-24.docx

Pease Development Authority
55 International Drive, Portsmouth, NH 03801, (603) 433-6088



Conditional Use Permit Application

For PDA Use Only			
Date Submitted: _____	Municipal Review: _____	Fee: _____	
Application Complete: _____	Date Forwarded: _____	Paid: _____	Check #: _____


Applicant Information

Applicant: Port City Air	Agent: Haley Ward, Inc.
Address: PO Box 3177 Portsmouth, NH 03802	Address: 200 Griffin Road, Unit # 14 Portsmouth, NH 03801
Business Phone: 603-430-1111	Business Phone: 603-766-2988
Mobile Phone: _____	Mobile Phone: _____
Fax: _____	Fax: _____

Site Information

Portsmouth Tax Map: 315	Lot #: 2	Zone: ABC - Airport Business Commercial
Address / Location of Work: 282 Corporate Drive		
Proposed Activity (check all that apply)		Impacted Jurisdictional Area(s): Check all that apply
<input type="checkbox"/> New Structure		<input checked="" type="checkbox"/> Wetland
<input type="checkbox"/> Expansion of Existing Structure		<input checked="" type="checkbox"/> Wetland Buffer
<input type="checkbox"/> Other site alteration (specify):		
Add rain garden & remove impervious areas		
Total area of wetland on subject lot:	63,677 SF	
Total area of wetland buffer on subject lot:	_____	
Distance of proposed structure or activity to edge of wetland:	_____	
	On subject lot	Off subject lot
Area of wetland impacted:	1448 FT	0
Area of wetland buffer impacted:	6069 SF	0
Total area of wetland and wetland buffer impacted:	7517	0
Provide complete description of site and work to be completed:		
<p>The project is located at 282 Corporate Drive and consists of renovations to the interior of the existing building with some exterior access and paving improvements. The plans include removal of an existing concrete dumpster pad and another pad (replace with loam and seed) and removal of existing pavement and replacement with a rain garden. The proposed impacts are detailed on Sheet C5 of the Plan Set.</p>		
<p><i>All above information shall be shown on a site plan submitted with this application. Provide 3 full size hard copies and one PDF copy of all application materials as well as one half-size set of drawings to PDA. Applicant shall supply additional copies as may be required by applicable municipality.</i></p>		

Certification

<p>I hereby certify under the penalties of perjury that the foregoing information and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I hereby apply for conditional use and acknowledge I will comply with all regulations and any conditions established by the PDA Committees and Board in the development and construction of this project.</p>	
 _____ Signature of Applicant Agent	10-17-24 _____ Date
_____ Printed Name	

N:\Engineer\Conditional Use Permit Application.xlsx



HALEY WARD®
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May 24, 2024

Port City Air
104 Grafton Drive
Portsmouth, NH 03801

Re: Wetland Delineation Verification
Tax Map 315, Lot 12
282 Corporate Drive
Portsmouth, NH

To Whom it May Concern:

This letter transmits a wetland delineation verification in regards to the above referenced site performed on May 24, 2024. It is my understanding that Ambit Engineering, Inc. delineated wetlands on the subject parcel, and the wetland boundaries were depicted on a site plan titled "Subdivision Plan for Sarnia Seacoast, LLC." dated January 2000 and revised through April 7, 2000. Utilizing this plan which is drawn to scale, I performed a site visit to verify that wetland boundaries on the subject parcel are accurate and have not changed since 2000.

The wetland delineation verification utilized the following standards:

1. *US Army Corps of Engineers Wetlands Delineation Manual*, Technical Report Y-87-1 (Jan 1987). **AND** Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Northcentral and Northeast Region, Version 2.0, January 2012.
2. *Field Indicators of Hydric Soils in the United States*, Version 8.2, USDA-NRCS, 2018 **AND (for disturbed sites)** *Field Indicators for Identifying Hydric Soils in New England*, Version 4. NEIWPC Wetlands Work Group (April 2019).
3. *National List of Plant Species That Occur in Wetlands: Northeast (Region 1)*. USFWS (May 1988).





The standards outlined above are the current guidance documents used by Certified Wetland Scientists in the State of New Hampshire when delineating wetlands.

The wetland delineation verification resulted in no changes to the boundaries on site and the wetland boundaries depicted on the plan referenced above can be used on future plans for the subject parcel.

Sincerely,

Steve Riker, CWS
Project Scientist/Project Manager
sriker@haleyward.com



**INSPECTION & LONG-TERM MAINTENANCE PLAN
FOR
PROPOSED BUILDING REUSE
282 CORPORATE DRIVE
PORTSMOUTH, NH**

Introduction

The intent of this plan is to provide Port City Air (herein referred to as “owner”) with a list of procedures that document the inspection and maintenance requirements of the stormwater management system for this development, specifically the Rain Garden and associated structures on the project site (collectively referred to as the “Stormwater Management System”). The contact information for the owner shall be kept current, and if there is a change of ownership of the property this plan must be transferred to the new owner.

The site parking lot currently drains to the north and the south along a ridge line roughly in the middle of the parking area. The stormwater management system consists of a rain garden for treatment of surface parking lot runoff and a swale to channel the stormwater to the adjacent wetland receiving area. The south or street side of the parking area drains out to the drainage in Corporate Drive. The site roof is flat and has an existing interior drain roof drain system which ties into street drainage.

The following inspection and maintenance program is necessary to keep the stormwater management system functioning properly. By following the enclosed procedures, the owner will be able to maintain the functional design of the stormwater management system and maximize its ability to remove sediment and other contaminants from site generated stormwater runoff.

Annual Report

The owner shall prepare an annual Inspection & Maintenance Report. The report shall include a summary of the system’s maintenance and repair by transmission of the Inspection & Maintenance Log and other information as required. A copy of the report shall be delivered annually to the City of Portsmouth Public Works Department or the Pease Development Authority, as required.

Inspection & Maintenance Checklist/Log

The following pages contain the Stormwater Management System Inspection & Maintenance Requirements and a blank copy of the Stormwater Management System Inspection & Maintenance Logs. These forms are provided to the owner as a guideline for performing the inspection and maintenance of the Stormwater Management System. This is a guideline and should be periodically reviewed for conformance with current practice and standards.

Stormwater Management System Components

The Stormwater Management System is designed to mitigate both the quantity and quality of site-generated stormwater runoff. As a result, the design includes the following elements:

Non-Structural BMPs

Non-Structural best management practices (BMP's) include temporary and permanent measures that typically require less labor and capital inputs and are intended to provide protection against erosion of soils. Measures in this list include measures which are required during the construction phases of any project involving earth disturbance at the property. Examples of non-structural BMP's on this project include but are not limited to:

- Temporary and Permanent mulching
- Temporary and Permanent grass cover
- Trees
- Shrubs and ground covers
- Miscellaneous landscape plantings
- Dust control
- Tree protection
- Topsoiling
- Sediment barriers
- Stabilized construction entrance
- Vegetated buffer area

Structural BMPs

Structural BMPs are more labor and capital-intensive structures or installations that require more specialized personnel to install. These are permanent long-term measures. Examples on this project include but are not limited to:

- Rain Garden
- Outlet Control Structures, Swales, and Street Storm Drains

Inspection and Maintenance Requirements

The following summarizes the inspection and maintenance requirements for the various BMPs that may be found on this project.

1. **Grassed areas and swales:** Until established after each rain event of 0.5" or more during a 24-hour period, inspect grassed areas for signs of disturbance, such as erosion. If damaged areas are discovered, immediately repair the damage. Repairs may include adding new topsoil and seed, and protective measures like jute netting. After stabilization review twice per year for erosion.
2. **Plantings:** Planting and landscaping (trees, shrubs) shall be monitored bi-monthly during the first year to insure viability and vigorous growth. Replace dead or dying vegetation with new stock and make adjustments to the conditions that caused the dead or dying vegetation. During dryer times of the year, provide weekly watering or irrigation during the establishment period of the first year.

Make the necessary adjustments to ensure long-term health of the vegetated covers, i.e. provide more permanent mulch or compost or other means of protection.

3. **Vegetated edge area:** Check for invasive species in vegetated edge area, at least annually. Remove any invasive species found in accordance with NHDES Guidelines.
4. **Rain Garden:** After installation of the rain garden, perform the following inspections on a monthly basis until established, and then follow the guidelines in the maintenance protocols:
 - a. Monitor for excessive or concentrated accumulations of debris, or excessive erosion at the flow inlets. Remove debris in the rain garden and replace or add inlet fabric strips or rip rap stones if erosion occurs.
 - b. Monitor the outflow for problems with erosion. Repair as required.
 - c. After significant rainfall, monitor rain garden surfaces for ponding of water. If water remains flooded over the surface 24 hours after a 1” rainfall, then investigate the cause, if not related to overflow blockage, then excavate and replace filter media.
 - d. Monitor vegetation on rain garden and replace dead or dying vegetation as required.
 - e. Monitor rain garden berms for rodent borrows and repair as required; remove persistent occupiers.
 - f. Monitor side slopes of rain garden for damage or erosion—repair, as necessary.
5. **Roof Drain System and Storm Drains:** Monitor accumulation of debris on the roof to ensure that run-off is getting into the system and not ponding on the roof. Remove sediments and debris if found. During construction, maintain inlet protection of adjacent street catch basins until the site has been stabilized. Prior to the end of construction, inspect the drains and basins for accumulations, and remove and clean by jet-vacuuming. Observe street drainage function and report backups to the proper authority.

Included is a Maintenance Form for the Stabilized Construction entrance (construction phase only).

Pollution Prevention

The following pollution prevention activities shall be undertaken to minimize potential impacts on stormwater runoff quality. The Contractor is responsible for all activities during construction. The Owner is responsible thereafter.

Spill Procedures

Any discharge of waste oil or other pollutant shall be reported immediately to the New Hampshire Department of Environmental Services (NHDES). The Contractor/Owner will be responsible for any incident of groundwater contamination resulting from the improper discharge of pollutants to the stormwater system, and may be required by NHDES to remediate incidents that may impact groundwater quality. If the property ownership is transferred, the new owner will be informed of the legal responsibilities associated with operation of the stormwater system, as indicated above.

Sanitary Facilities

Sanitary facilities shall be provided during all phases of construction.

Material Storage

No on-site trash facility is provided until construction is completed. The contractors are required to remove trash from the site. Hazardous material storage is prohibited.

Material Disposal

All waste material, trash, sediment, and debris shall be removed from the site and disposed of in accordance with applicable local, state, and federal guidelines and regulations. Removed sediments shall be if necessary dewatered prior to disposal.

Invasive Species

Monitor the Stormwater Management System for signs of invasive species growth. If caught early, their eradication is much easier. The most likely places where invasions start is in wetter, disturbed soil or detention ponds. Species such as phragmites and purple loosestrife are common invaders in these wetter areas. If they are found, the owner shall refer to the factsheet created by the University of New Hampshire Cooperative Extension (or other source) or contact a wetlands scientist with experience in invasive species control to implement a plan of action for eradication. Measures that do not require the application of chemical herbicides should be the first line of defense.



Figure 1: *Lythrum salicaria*, Purple Loosestrife. Photo by Liz West.

Figure 2: *Phragmites australis*. Photo by Le Loup Gris

RAIN GARDEN MAINTENANCE SHEET

INSPECTION REQUIREMENTS		
ACTION TAKEN	FREQUENCY	MAINTENANCE REQUIREMENTS
<p><i>-Inspect pond surface for the occurrence of sediment, trash, debris, or structural damage.</i></p>	<p>Bi-Yearly and following major storm events</p>	<p><i>-Remove sediments, trash, and debris, as necessary.</i></p> <p><i>-Repair outlet structures and appurtenances, as necessary.</i></p>
<p><i>-Check to see if pond drains within 72 hours of rainfall.</i></p> <p><i>-Check vegetation health.</i></p>	<p>Annually</p>	<p><i>-If system does not drain within 72 hours of a rainfall event, consult a qualified professional about restoration of function of the dry well.</i></p> <p><i>-Vegetation should be maintained and pruned.</i></p> <p><i>-Dead or diseased vegetation should be removed, as well as any invasive species.</i></p>

MAINTENANCE LOG	
PROJECT NAME	
INSPECTOR NAME	INSPECTOR CONTACT INFO
DATE OF INSPECTION	REASON FOR INSPECTION <input type="checkbox"/> LARGE STORM EVENT <input type="checkbox"/> PERIODIC CHECK-IN
IS CORRECTIVE ACTION NEEDED? <input type="checkbox"/> YES <input type="checkbox"/> NO	DESCRIBE ANY PROBLEMS, NEEDED MAINTENANCE
DATE OF MAINTENANCE	PERFORMED BY
NOTES	

CLOSED DRAINAGE STRUCTURE LONG-TERM MAINTENANCE SHEET

INSPECTION REQUIREMENTS		
ACTION TAKEN	FREQUENCY	MAINTENANCE REQUIREMENTS
-Outlet Control Structures -Drain Manholes -Catch Basins	Monthly for 1 year following construction, Every other Month thereafter	<i>Check for erosion or short-circuiting</i> <i>Check for sediment accumulation</i> <i>Check for floatable contaminants</i>
-Drainage Pipes	Monthly for 1 year following construction, 1 time per 2 years thereafter	<i>Check for sediment accumulation/clogging, or soiled runoff.</i> <i>Check for erosion at outlets.</i>

MAINTENANCE LOG	
PROJECT NAME	
INSPECTOR NAME	INSPECTOR CONTACT INFO
DATE OF INSPECTION	REASON FOR INSPECTION <input type="checkbox"/> LARGE STORM EVENT <input type="checkbox"/> PERIODIC CHECK-IN
IS CORRECTIVE ACTION NEEDED? <input type="checkbox"/> YES <input type="checkbox"/> NO	DESCRIBE ANY PROBLEMS, NEEDED MAINTENANCE
DATE OF MAINTENANCE	PERFORMED BY
NOTES	

STABILIZED CONSTRUCTION ENTRANCE CONSTRUCTION MAINTENANCE SHEET

INSPECTION REQUIREMENTS		
ACTION TAKEN	FREQUENCY	MAINTENANCE REQUIREMENTS
ENTRANCE SURFACE <i>-Check for sediment accumulation/clogging of stone</i>	After heavy rains, as necessary	<i>-Top dress pad with new stone. -Replace stone completely if completely clogged.</i>
WASHING FACILITIES (if applicable) <i>-Monitor Sediment Accumulation</i>	As often as necessary	<i>-Remove Sediments from traps.</i>

MAINTENANCE LOG	
PROJECT NAME	
INSPECTOR NAME	INSPECTOR CONTACT INFO
DATE OF INSPECTION	REASON FOR INSPECTION <input type="checkbox"/> LARGE STORM EVENT <input type="checkbox"/> PERIODIC CHECK-IN
IS CORRECTIVE ACTION NEEDED? <input type="checkbox"/> YES <input type="checkbox"/> NO	DESCRIBE ANY PROBLEMS, NEEDED MAINTENANCE
DATE OF MAINTENANCE	PERFORMED BY
NOTES	

LESSOR:
PEASE DEVELOPMENT AUTHORITY
 55 INTERNATIONAL DRIVE
 PORTSMOUTH, N.H. 03801
 TEL: (603) 433-6088

LEASE HOLDER:
SHAINES & MCEACHERN
 282 CORPORATE DRIVE, #2
 PORTSMOUTH, N.H. 03801
 TEL: (603) 436-3110

APPLICANT & LESSEE
SITE OWNER:
PORT CITY AIR
 P.O. BOX 3177
 PORTSMOUTH, N.H. 03801
 TEL: (603) 430-1111

SUB-LESSEE:
GREAT CIRCLE CATERING
 139 FLIGHTLINE ROAD
 PORTSMOUTH, N.H. 03801
 TEL: (603) 422-5502

CIVIL ENGINEER & LAND SURVEYOR:
HALEY WARD, INC.
 200 GRIFFIN ROAD, UNIT 14
 PORTSMOUTH, N.H. 03801
 TEL. (603) 430-9282
 FAX (603) 436-2315

WETLAND DELINEATION NOTE (LOCATION SHOWN IN PLAN SET):

- 1) WETLAND LINE VERIFIED BY STEVEN D. RIKER, CWS ON 05/24/24 IN ACCORDANCE WITH THE FOLLOWING STANDARDS:
- A) U.S. ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 (JAN. 1987). AND REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, VERSION 2.0, JANUARY 2012.
 - B) FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.2, USDA-NRCS, 2018 AND (FOR DISTURBED SITES) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4. NEWPCC WETLANDS WORK GROUP (2019).
 - C) NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: NORTHEAST (REGION 1). USFWS (MAY 1988).
 - D) CLASSIFICATION OF WETLANDS AND DEEPWATER HABITATS OF THE UNITED STATES. USFW MANUAL FWS/OBS-79/31 (1997).
 - E) "IDENTIFICATION AND DOCUMENTATION OF VERNAL POOLS IN NEW HAMPSHIRE" (1997). NEW HAMPSHIRE FISH AND GAME DEPARTMENT.

PROPOSED CHANGE OF USE

282 CORPORATE DRIVE- MAP 315 LOT 2

PORTSMOUTH, NEW HAMPSHIRE

SITE PLANS



SCALE: 1"=500'

INDEX OF SHEETS

- - SUBDIVISION PLAN- SARNIA SEACOAST
- C1 - EXISTING CONDITIONS & DEMOLITION PLAN
- C2 - SITE PLAN
- C3 - EROSION CONTROL & GRADING PLAN
- C4 - UTILITY PLAN
- D1-D4 - DETAILS
- C5 - IMPACT PLAN

UTILITY CONTACTS

ELECTRIC:
 EVERSOURCE
 74 OLD DOVER ROAD
 ROCHESTER, N.H. 03867
 Tel. (603) 332-4227, Ext. 555.5325
 ATTN: MARK COLLINS
 EMAIL: mark.collins@eversource.com

NATURAL GAS:
 UNITIL
 325 WEST ROAD
 PORTSMOUTH, N.H. 03801
 TEL. (603) 294-5144
 ATTN: DAVE BEAULIEU

CABLE:
 XFINITY BY COMCAST
 180 GREENLEAF AVE.
 PORTSMOUTH, N.H. 03801
 Tel. (603) 266-2278
 ATTN: MIKE COLLINS

SEWER & WATER:
 PORTSMOUTH DEPARTMENT OF PUBLIC WORKS
 680 PEVERLY HILL ROAD
 PORTSMOUTH, N.H. 03801
 TEL. (603) 427-1530
 ATTN: JIM TOW

COMMUNICATIONS:
 CONSOLIDATED COMMUNICATIONS
 1575 GREENLAND ROAD
 GREENLAND, N.H. 03840
 Tel. (603) 427-5525
 ATTN: JOE CONSIDINE



REQUIRED PERMITS:
 PDA SITE APPROVAL: PENDING
 PORTSMOUTH SITE APPROVAL: PENDING
 NHDES WETLANDS: PENDING
 PDA CONDITIONAL USE: PENDING

LEGEND:

N/F	NOW OR FORMERLY		
RP	RECORD OF PROBATE		
RCRD	ROCKINGHAM COUNTY		
	REGISTRY OF DEEDS		
11/21	MAP 11/LOT 21		
● IR FND	IRON ROD FOUND		
○ IP FND	IRON PIPE FOUND		
● IR SET	IRON ROD SET		
○ DH FND	DRILL HOLE FOUND		
○ DH SET	DRILL HOLE SET		
□	GRANITE BOUND w/IRON ROD FOUND		
EXISTING	PROPOSED		
FM	FM	—	FORCE MAIN
S	S	—	SEWER PIPE
SL	SL	—	SEWER LATERAL
G	PG	—	GAS LINE
D	D	—	STORM DRAIN
FD	FD	—	FOUNDATION DRAIN
W	W	—	WATER LINE
FS	FS	—	FIRE SERVICE LINE
UE	UGE	—	UNDERGROUND ELECTRIC SUPPLY
		—	UNDERGROUND ELECTRIC SERVICE
		—	OVERHEAD ELECTRIC WIRES
		—	RETAINING WALL
		—	EDGE OF PAVEMENT (EP)
100	100	—	CONTOUR
97x3	98x0	—	SPOT ELEVATION
GEW	E	—	UTILITY POLE
		—	GAS, ELECTRIC, WATER METER
		—	TRANSFORMER ON CONCRETE PAD
WSO	WSO	—	WATER SHUT OFF/CURB STOP
C.O.	C.O.	—	PIPE CLEANOUT
		—	GATE VALVE
HYD	HYD	—	HYDRANT
CB	CB	—	CATCH BASIN
SMH	SMH	—	SEWER MANHOLE
DMH	DMH	—	DRAIN MANHOLE
WMH	WMH	—	WATER METER MANHOLE
#5		—	TEST BORING
TP 1		—	TEST PIT
LSA		—	LANDSCAPED AREA
CI	CI	—	CAST IRON PIPE
COP	COP	—	COPPER PIPE
CMP	CMP	—	CORRUGATED METAL PIPE
DI	DI	—	DUCTILE IRON PIPE
PVC	PVC	—	POLYVINYL CHLORIDE PIPE
RCP	RCP	—	REINFORCED CONCRETE PIPE
HYD	HYD	—	HYDRANT
CL	CL	—	CENTERLINE
EP	EP	—	EDGE OF PAVEMENT
EL	EL	—	ELEVATION
FF	FF	—	FINISHED FLOOR
INV	INV	—	INVERT
TBM	TBM	—	TEMPORARY BENCH MARK
TYP	TYP	—	TYPICAL
TBR		—	TO BE REMOVED

SITE IMPROVEMENT PLANS
282 CORPORATE DRIVE
PORTSMOUTH, N.H.



PLAN SET SUBMITTAL DATE: 5 NOVEMBER 2024

APPROVED BY THE PEASE DEVELOPMENT AUTHORITY

APPROVED BY PORTSMOUTH PLANNING BOARD

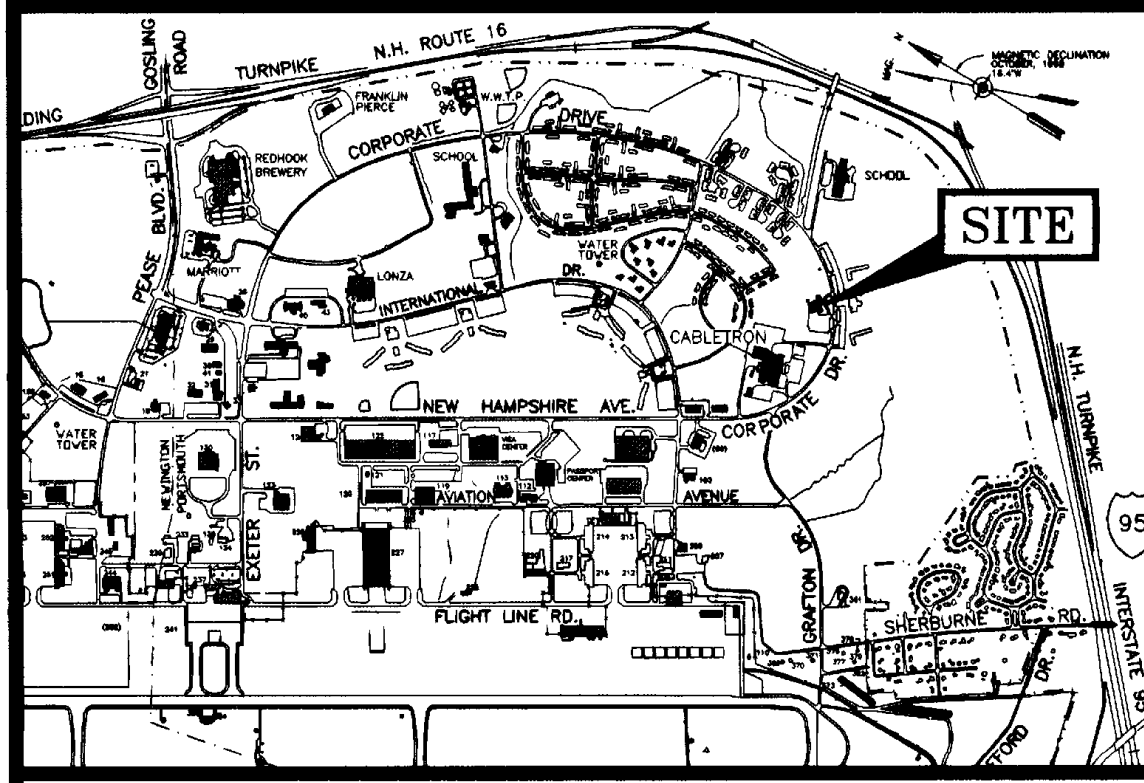
CHAIRMAN

DATE

CHAIRMAN

DATE

AMBIT ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 801 Inlington Street Ct
 Portsmouth, N.H. 03801-4266
 Tel (603) 430-9282
 Fax (603) 436-2316



LOCATION MAP 1" = 2000'

LEGEND:

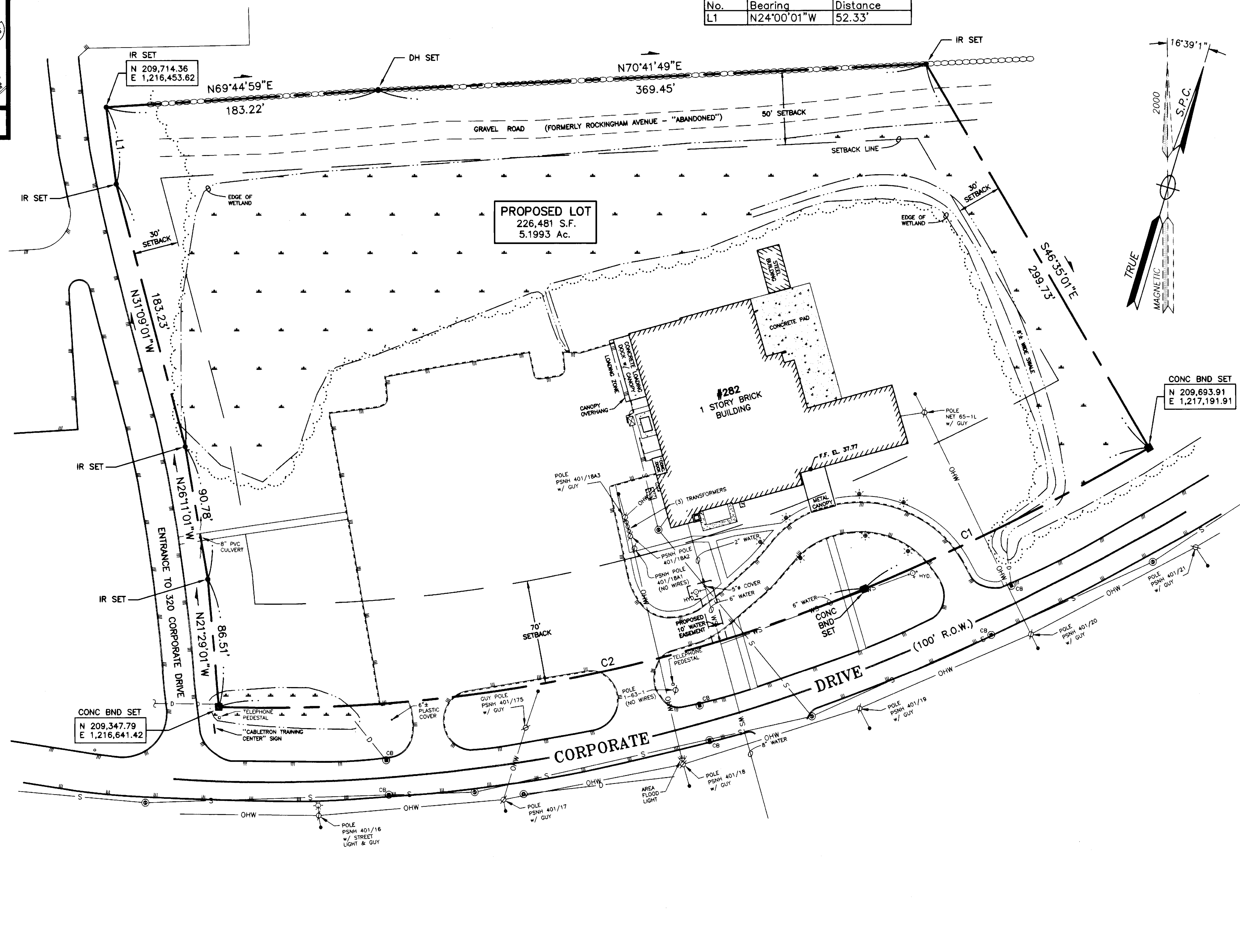
EXISTING	PROPOSED	DESCRIPTION
S	S	CONCRETE BOUND TO BE SET
SL	SL	DRILL HOLE TO BE SET
G	G	IRON ROD TO BE SET
D	D	SEWER PIPE
W	W	SEWER LATERAL
WS	WS	GAS LINE
UGE	UGE	STORM DRAIN
OHW	OHW	WATER LINE
100	100	WATER SERVICE
97x3	97x3	UNDERGROUND ELECTRIC
	98x0	OVERHEAD ELECTRIC/WIRES
		CONTOUR
		SPOT ELEVATION
		STONE WALL
		GRANITE CURB
		CONCRETE CURB
		EDGE OF PAVEMENT (EP)
		WOODS / TREE LINE
		TREES, SHRUBS, HEDGES ETC.
		ORNAMENTAL PLANTINGS
12	12	PARKING SPACE COUNT
		UTILITY POLE
		BOLLARD LIGHT
		POLE MOUNTED LIGHT
		WATER SHUT OFF/CURB STOP
		GAS SHUT OFF
		GATE VALVE
HYD	HYD	HYDRANT
CB	CB	CATCH BASIN
SMH	SMH	SEWER MANHOLE
DMH	DMH	DRAIN MANHOLE
W	W	WELL
CI	CI	CAST IRON PIPE
CMP	CMP	CORRUGATED METAL PIPE
COP	COP	COPPER PIPE
DI	DI	DUCTILE IRON PIPE
EL	EL	ELEVATION
EP	EP	EDGE OF PAVEMENT
FF	FF	FINISHED FLOOR
INV	INV	INVERT
PVC	PVC	POLYVINYL CHLORIDE PIPE
RCP	RCP	REINFORCED CONCRETE PIPE
S	S	SLOPE FT/FT
TBM	TBM	TEMPORARY BENCH MARK
TYP	TYP	TYPICAL

CURVE TABLE

No.	Delta	Radius	Arc Length	Chord Length	Chord Bearing
C1	07°20'09"	1673.32	214.25	214.10	S47°05'04"W
C2	24°33'22"	1038.60	445.13	441.73	S63°01'50"W

LENGTH TABLE

No.	Bearing	Distance
L1	N24°00'01"W	52.33'



- NOTES:**
- PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP R-99.
 - OWNER OF RECORD: UNITED STATES OF AMERICA 1280 / 332
 LEASED BY: PEASE DEVELOPMENT AUTHORITY
 PEASE INTERNATIONAL TRADEPORT
 360 CORPORATE DRIVE
 PORTSMOUTH, N.H. 03801-2833
 BOOK 2937, PAGE 1960
 APPLICANT: SARNIA SEACOAST, LLC
 49 TIDEWATER FARMS
 GREENLAND, N.H. 03840-2149
 - PARCEL IS NOT LOCATED IN A FLOOD HAZARD ZONE AS SHOWN ON FIRM PANEL 330139 0005 B (17 MAY 1982).
 - PARCEL IS LOCATED IN THE PEASE "BUSINESS / COMMERCIAL" ZONE.
 DIMENSIONAL REQUIREMENTS:
 MIN. LOT AREA: 5 ACRES
 FRONTAGE: 200 FEET
 SETBACKS: FRONT 70 FEET
 SIDE 30 FEET
 REAR 50 FEET
 NOT TO EXCEED FAA CRITERIA
 MAXIMUM STRUCTURE HEIGHT: ≥ 50% OF BUILDING FOOTPRINT
 - PARCEL IS SERVED BY MUNICIPAL SEWER AND WATER.
 - THE PURPOSE OF THIS PLAN IS TO DEFINE A PARCEL AS INDICATED FOR SUBLEASE FROM THE PEASE DEVELOPMENT AUTHORITY (PDA).
 - BEARINGS AND COORDINATES SHOWN ARE BASED UPON N.H. STATE GRID NAD 83/86.
 - UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - WETLANDS DELINEATED BY JOHN HAYES III, W.S., FIELD LOCATED BY AMBIT ENGINEERING. TOTAL WETLANDS AREA ON LOT: 64,500 S.F..

SUBDIVISION PLAN
 FOR
SARNIA SEACOAST, LLC
 282 CORPORATE DRIVE
 PEASE INTERNATIONAL TRADEPORT
 PORTSMOUTH, N.H.
 COUNTY OF ROCKINGHAM

NO.	DESCRIPTION	DATE
2	ADD PROPOSED WATER LINE EASEMENT	4/7/00
1	ISSUED FOR APPROVAL	3/20/00
0	ISSUED FOR COMMENT	1/28/00

REVISIONS

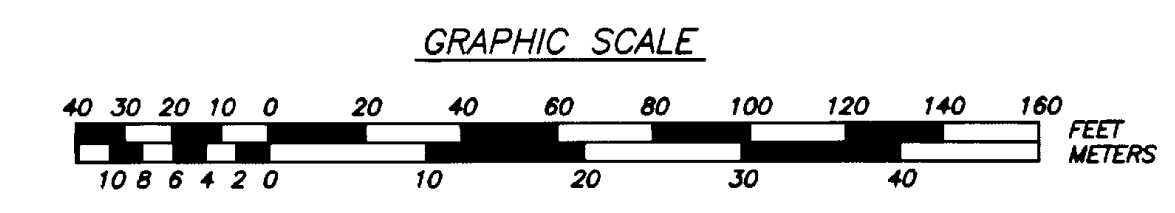
APPROVED BY THE PEASE DEVELOPMENT AUTHORITY

 DATE 6/29/00

APPROVED BY THE PORTSMOUTH PLANNING BOARD

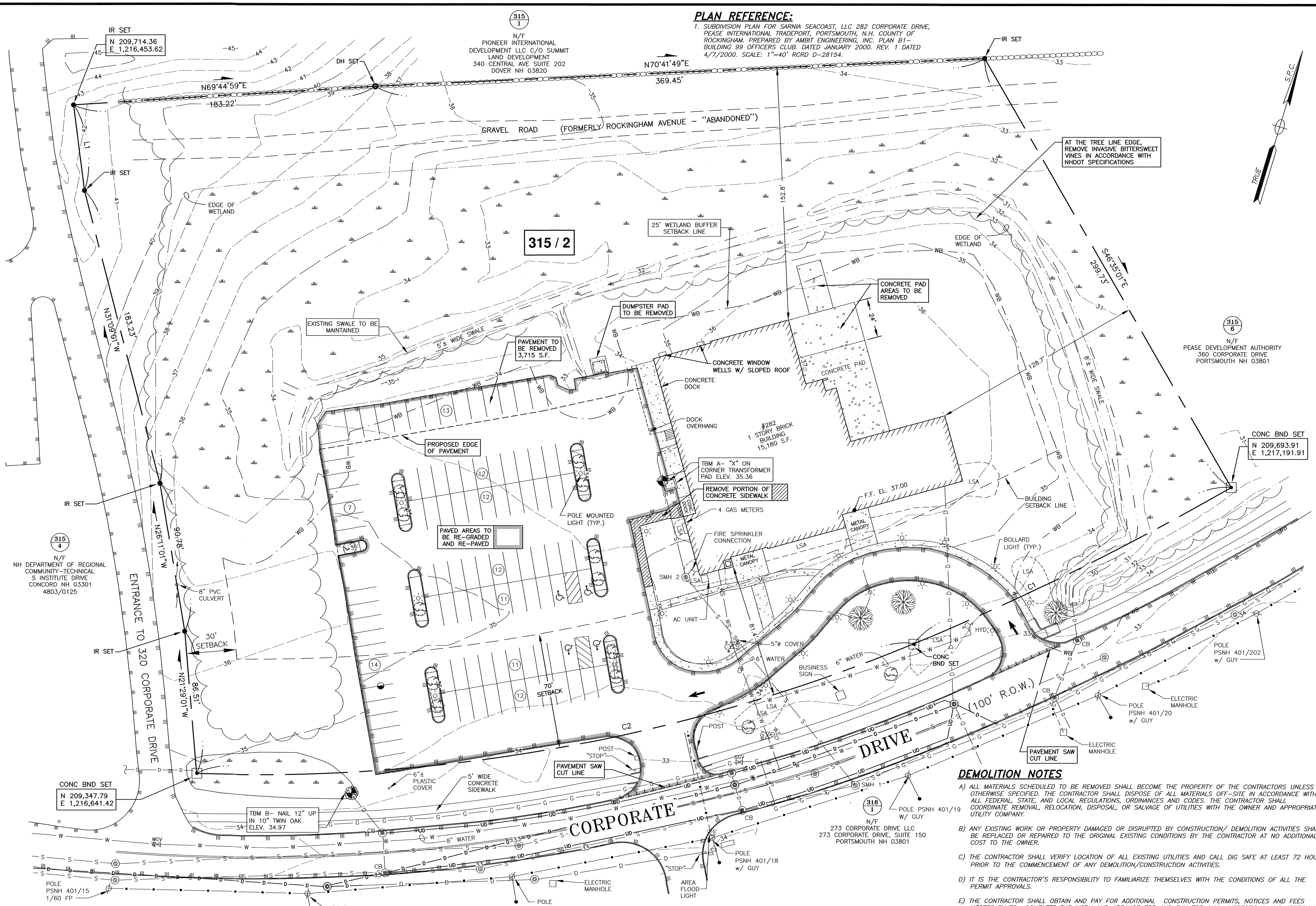
 CHAIRMAN DATE 6/14/2000

D-28154

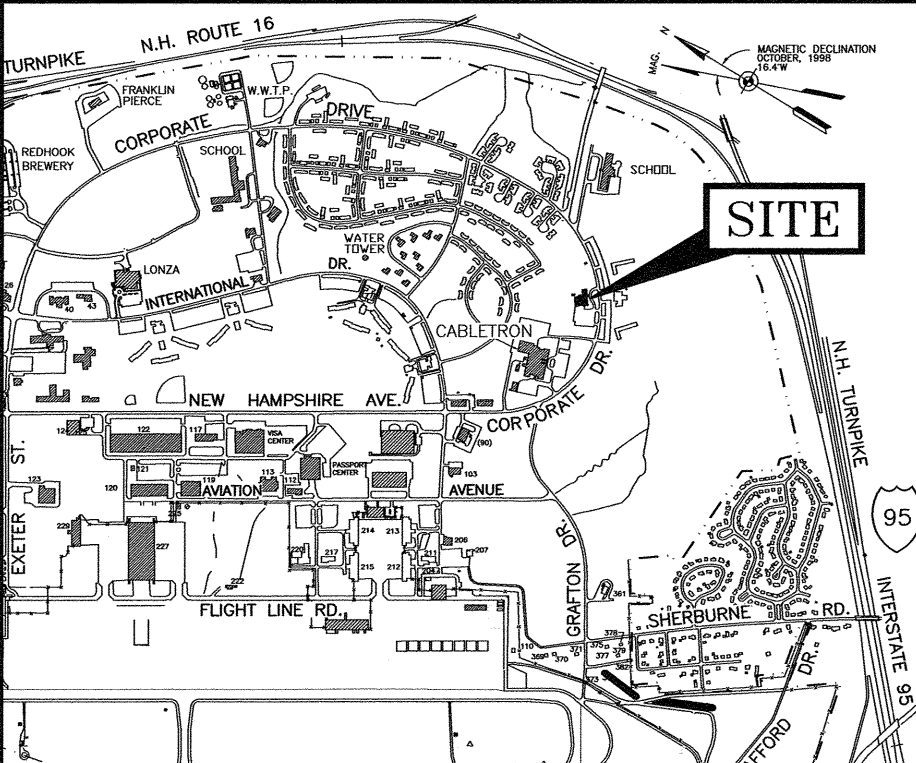


SCALE: 1" = 40' JANUARY 2000

BUILDING 99 OFFICERS CLUB
 SHEET 1 OF 4 **B1**



PLAN REFERENCE:
 1. SUBDIVISION PLAN FOR SARMA SEACOAST, LLC 282 CORPORATE DRIVE, PEASE INTERNATIONAL TRADEPORT, PORTSMOUTH, N.H. COUNTY OF ROCKINGHAM, PREPARED BY AMBT ENGINEERING, INC. PLAN B1-BUILDING 99 OFFICERS CLUB, DATED JANUARY 2000, REV. 1 DATED 4/7/2000, SCALE: 1"=40' RCRD D-28154.



LOCATION MAP SCALE: 1"=2000'

NOTES:
 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 315 AS LOT 2.
 2) OWNER OF RECORD:
 PEASE DEVELOPMENT AUTHORITY
 55 INTERNATIONAL TRADEPORT
 PORTSMOUTH, N.H. 03801-2833
 BOOK 2937, PAGE 1960
 LEASE HOLDER:
 SHAINES & MCEACHERN
 282 CORPORATE DRIVE, #2
 PORTSMOUTH, NH 03801
 APPLICANT:
 PORT CITY AIR INC.
 104 GRAFTON DRIVE
 PORTSMOUTH, NH 03801

3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD ZONE. (ZONE X) AS SHOWN ON FIRM PANEL 3301500260F, EFFECTIVE DATE 1/29/2021.
 4) EXISTING LOT AREA:
 226,481 S.F.
 5.1993 ACRES
 5) PARCEL IS LOCATED IN ZONE (ABC) AIRPORT BUSINESS COMMERCIAL.
 6) DIMENSIONAL REQUIREMENTS:

MIN. LOT AREA:	REQUIRED:	PROVIDED:
FRONTAGE:	10 ACRES	5.2 ACRES
SETBACKS:	300 FT	659 FT
FRONT:	70 FT	81.4 FT
SIDE:	30 FT	128.7 FT
REAR:	50 FT	152.8 FT

MAXIMUM STRUCTURE HEIGHT: 85 FT 20 FT +/-
 MAXIMUM BUILDING COVERAGE: 60% 6.7%
 MAXIMUM OPEN SPACE: 50% 70%

7) THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING CONDITIONS ON ASSESSOR'S MAP 315 LOT 2 IN THE CITY OF PORTSMOUTH, AND SHOW DEMOLITION FOR SITE DEVELOPMENT.
 8) VERTICAL DATUM IS NAVD83. BASIS OF VERTICAL DATUM IS REDUNDANT RTK GNSS OBSERVATIONS.
 9) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.

No.	DATE	DESCRIPTION	BY	CHK.
2	10/16/24	SETBACK DIMENSIONS, NOTES	SJR	JRC
1	09/09/24	UPDATE TOPO, UTILITIES	SJR	JRC
0	08/08/24	ISSUED FOR COMMENT	SJR	JRC

PERMIT PLAN

HALEYWARD
 ENGINEERING | ENVIRONMENTAL | SURVEYING
 200 Griffin Rd. Unit 14
 Portsmouth, New Hampshire 03801
 603.430.9282
 WWW.HALEYWARD.COM

PROJECT: **SITE PLAN**
 GREAT CIRCLE CATERING
 282 CORPORATE DRIVE, PORTSMOUTH, N.H.

EXISTING CONDITIONS & DEMOLITION PLAN

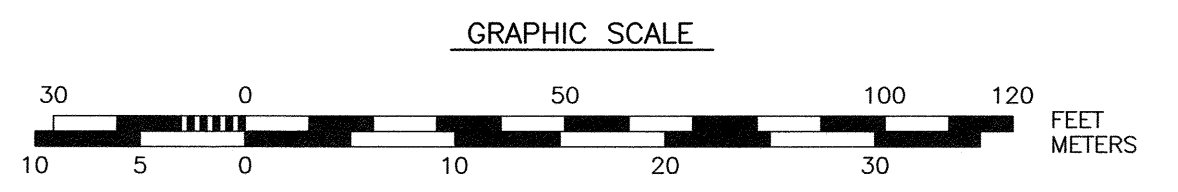
DATE	SCALE
MAY 2024	SCALE: 1" = 30'

DRAWN BY	DESIGNED BY	CHECKED BY
SJR	JRC	JRC

PROJECT No. 5010175.843.03 FIELD BOOK & PAGE FB 85 PG 1
 DRAWING No. **SHEET 1 C1**

"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

JOHN R. CHAGNON, LLS #738 DATE 10.16.24



CURVE TABLE

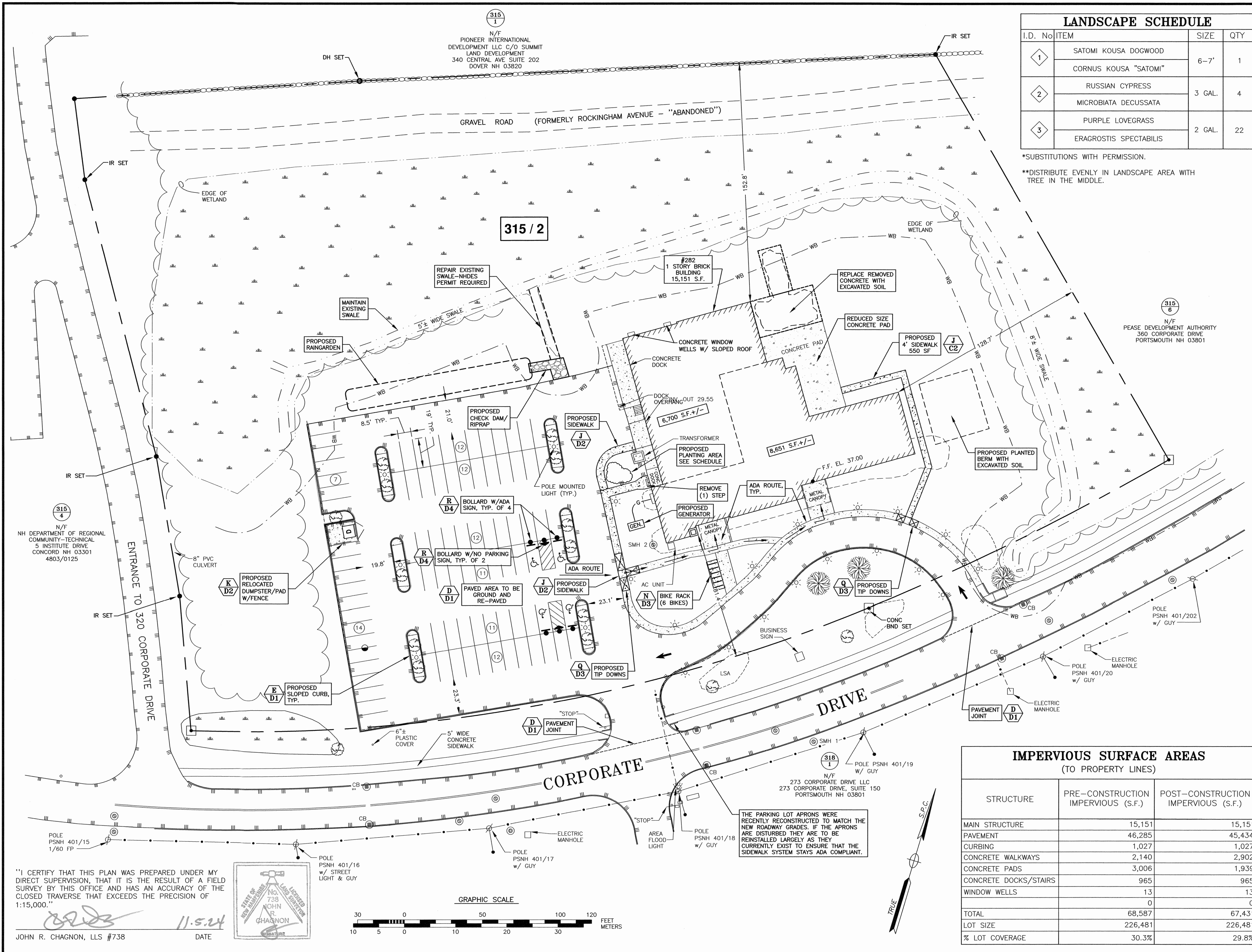
No.	Delta	Radius	Arc Length	Chord Length	Chord Bearing
C1	07°20'09"	1673.32	214.25	214.10	S47°05'04"W
C2	24°33'22"	1038.60	445.13	441.73	S63°01'50"W

LENGTH TABLE

No.	Bearing	Distance
L1	N24°00'01"W	52.33'

DEMOLITION NOTES

- ALL MATERIALS SCHEDULED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTORS UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL DISPOSE OF ALL MATERIALS OFF-SITE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS, ORDINANCES AND CODES. THE CONTRACTOR SHALL COORDINATE REMOVAL, RELOCATION, DISPOSAL, OR SALVAGE OF UTILITIES WITH THE OWNER AND APPROPRIATE UTILITY COMPANY.
- ANY EXISTING WORK OR PROPERTY DAMAGED OR DISRUPTED BY CONSTRUCTION/ DEMOLITION ACTIVITIES SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL EXISTING CONDITIONS BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND CALL DIG SAFE AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION/CONSTRUCTION ACTIVITIES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE CONDITIONS OF ALL THE PERMIT APPROVALS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ADDITIONAL CONSTRUCTION PERMITS, NOTICES AND FEES NECESSARY TO COMPLETE THE WORK AND ARRANGE FOR AND PAY FOR ANY INSPECTIONS AND APPROVALS FROM THE AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL AND OFF-SITE DISPOSAL OF MATERIALS REQUIRED TO COMPLETE THE WORK.
- REMOVE TREES AND BRUSH AS REQUIRED FOR COMPLETION OF WORK. CONTRACTOR SHALL GRUB AND REMOVE ALL STUMPS WITHIN LIMITS OF WORK AND DISPOSE OF OFF-SITE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS. ALL SOIL MUST REMAIN ON SITE.
- THE CONTRACTOR SHALL PAY ALL COSTS NECESSARY FOR TEMPORARY PARTITIONING, BARRICADING, FENCING, SECURITY AND SAFETY DEVICES REQUIRED FOR THE MAINTENANCE OF A CLEAN AND SAFE CONSTRUCTION SITE.
- ANY CONTAMINATED MATERIAL REMOVED DURING THE COURSE OF THE WORK WILL REQUIRE HANDLING IN ACCORDANCE WITH SAH REGULATIONS. CONTRACTOR SHALL HAVE A HEALTH AND SAFETY PLAN IN PLACE, AND COMPLY WITH ALL APPLICABLE PERMITS, APPROVALS, AUTHORIZATIONS, AND REGULATIONS.



LANDSCAPE SCHEDULE			
I.D. No	ITEM	SIZE	QTY
1	SATOMI KOUSA DOGWOOD	6-7'	1
	CORNUS KOUSA "SATOMI"		
2	RUSSIAN CYPRESS	3 GAL.	4
	MICROBIATA DECUSSATA		
3	PURPLE LOVEGRASS	2 GAL.	22
	ERAGROSTIS SPECTABILIS		

*SUBSTITUTIONS WITH PERMISSION.
 **DISTRIBUTE EVENLY IN LANDSCAPE AREA WITH TREE IN THE MIDDLE.

- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 315 AS LOT 2.
 - 2) OWNER OF RECORD:
PEASE DEVELOPMENT AUTHORITY
PEASE INTERNATIONAL TRADEPORT
55 INTERNATIONAL DRIVE
PORTSMOUTH, N.H. 03801-2833
BOOK 2937, PAGE 1960
LEASE HOLDER:
SHAINES & MCEACHERN
282 CORPORATE DRIVE #2
PORTSMOUTH, NH 03801
APPLICANT:
PORT CITY AIR INC.
104 GRAFTON DRIVE
PORTSMOUTH, NH 03801
 - 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD ZONE. (ZONE X) AS SHOWN ON FIRM PANEL 33015C0260F. EFFECTIVE DATE 1/29/2021.
 - 4) EXISTING LOT AREA:
226,481 S.F.
5.1993 ACRES
 - 5) PARCEL IS LOCATED IN ZONE (ABC) AIRPORT BUSINESS COMMERCIAL.
 - 6) DIMENSIONAL REQUIREMENTS:

	REQUIRED:	PROPOSED:
MIN. LOT AREA:	10 ACRES	5.2 ACRES
FRONTAGE:	300 FT	659 FT
SETBACKS:		
FRONT:	70 FT	81.4 FT
SIDE:	30 FT	128.7 FT
REAR:	50 FT	152.8 FT

 MAXIMUM STRUCTURE HEIGHT: 85 FT 20 FT +/-
 MAXIMUM BUILDING COVERAGE: 60% 6.7%
 MINIMUM OPEN SPACE: 50% 70%
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE CHANGE IN USE ON ASSESSOR'S MAP 315 LOT 2 IN THE CITY OF PORTSMOUTH.
 - 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTK GNSS OBSERVATIONS.
 - 9) UTILITIES WILL BE EXTENDED INTERNALLY, UNLESS OTHERWISE SHOWN.
 - 10) PARKING CALCULATIONS:
PROPOSED USE: CATERING PREP FACILITY & OFFICE.
REQUIRED PARKING:
CATERING: 6,500 S.F. +/- 50 EMPLOYEES X 1 PER EMPLOYEE = 50 SPACES.
OFFICE: 7,700 S.F. +/- 3,700 X 1/200 S.F. = 39 SPACES.
TOTAL: 89 REQUIRED.
SPACES PROVIDED = 91 SPACES.

CONDITIONS OF APPROVAL:

A) ALL CONDITIONS ON THIS PLAN SHALL REMAIN IN EFFECT IN PERPETUITY PURSUANT TO THE REQUIREMENTS OF THE SITE PLAN REVIEW REGULATIONS (2.5.4.2F).

B) ALL IMPROVEMENTS SHOWN ON THIS SITE PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PLAN BY THE PROPERTY OWNER AND ALL FUTURE PROPERTY OWNERS. NO CHANGES SHALL BE MADE TO THIS SITE PLAN WITHOUT THE EXPRESS APPROVAL OF THE PEASE DEVELOPMENT AUTHORITY.

C) THE APPLICANT SHALL SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLAR AND IN DIGITAL FORMAT (AUTOCAD .DWG FORMAT) ON FLASH DRIVE TO THE PDA UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A REGISTERED NEW HAMPSHIRE LAND SURVEYOR OR PROFESSIONAL ENGINEER. AN ELECTRONIC FILE OF THE SITE LAYOUT SHALL BE SUBMITTED TO THE CITY OF PORTSMOUTH'S GIS DEPARTMENT.

No.	DATE	DESCRIPTION	BY	CHK.
3	11/05/24	TAC REVIEW	SJR	JRC
2	10/16/24	PARKING DIMENSIONS, NOTES, ADA ROUTE	SJR	JRC
1	09/09/24	EXISTING SITE FEATURES	SJR	JRC
0	08/06/24	ISSUED FOR COMMENT	SJR	JRC

PERMIT PLAN

HALEYWARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
200 Griffin Rd. Unit 14
Portsmouth, New Hampshire 03801
603.430.9282
WWW.HALEYWARD.COM

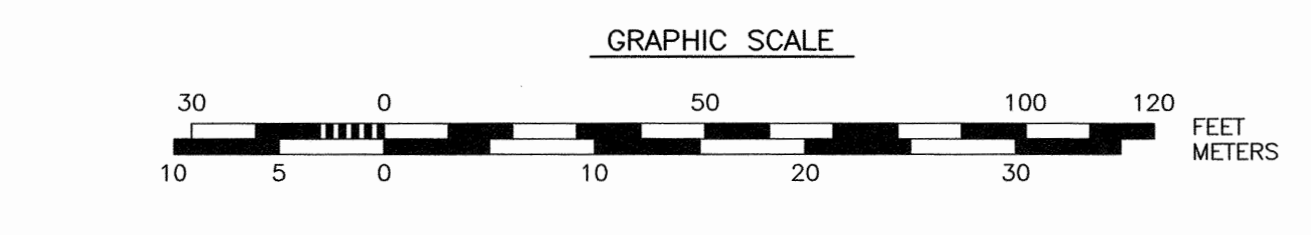
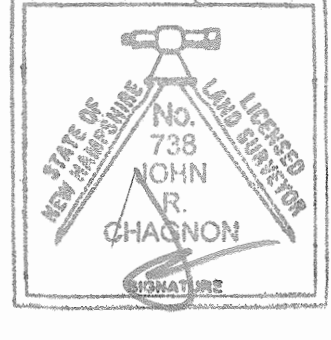
SITE PLAN
GREAT CIRCLE CATERING
282 CORPORATE DRIVE, PORTSMOUTH, N.H.

SITE PLAN

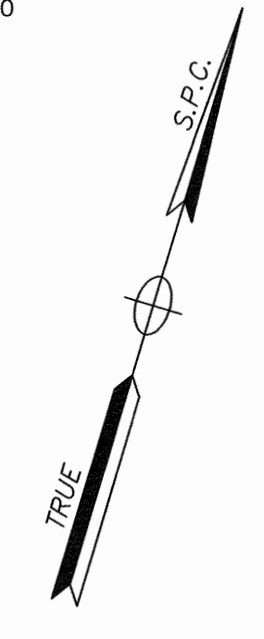
IMPERVIOUS SURFACE AREAS (TO PROPERTY LINES)		
STRUCTURE	PRE-CONSTRUCTION IMPERVIOUS (S.F.)	POST-CONSTRUCTION IMPERVIOUS (S.F.)
MAIN STRUCTURE	15,151	15,151
PAVEMENT	46,285	45,434
CURBING	1,027	1,027
CONCRETE WALKWAYS	2,140	2,902
CONCRETE PADS	3,006	1,939
CONCRETE DOCKS/STAIRS	965	965
WINDOW WELLS	13	13
	0	0
TOTAL	68,587	67,431
LOT SIZE	226,481	226,481
% LOT COVERAGE	30.3%	29.8%

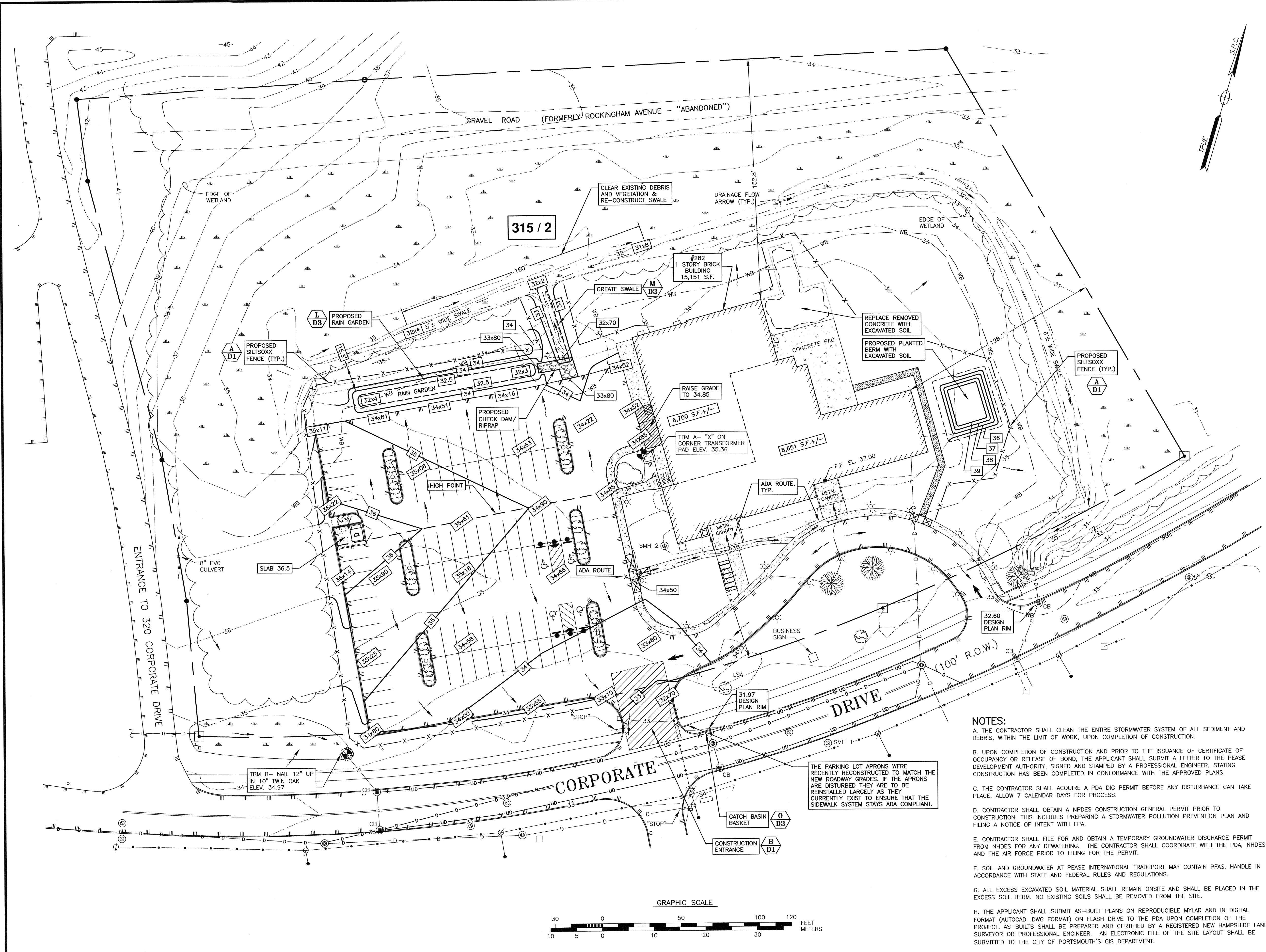
"I CERTIFY THAT THIS PLAN WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE AND HAS AN ACCURACY OF THE CLOSED TRAVERSE THAT EXCEEDS THE PRECISION OF 1:15,000."

[Signature]
 JOHN R. CHAGNON, LLS #738
 DATE 11.5.24



THE PARKING LOT APRONS WERE RECENTLY RECONSTRUCTED TO MATCH THE NEW ROADWAY GRADES. IF THE APRONS ARE DISTURBED THEY ARE TO BE REINSTALLED LARGELY AS THEY CURRENTLY EXIST TO ENSURE THAT THE SIDEWALK SYSTEM STAYS ADA COMPLIANT.





NOTES:

- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
- 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION." (NHDES DECEMBER 2008).
- 4) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTK GNSS OBSERVATIONS.
- 5) BERM SOIL QUANTITY
 SEPTIC TANK EXCAVATION: $(10' \times 5' \times 7') / 27 = 13$ CY
 SEWER PIPE EXCAVATION: $(60' \times 3' \times 5') / 27 = 33$ CY
 GAS TRENCH EXCAVATION: $(25' \times 2' \times 5') / 27 = 5$ CY
 RAIN GARDEN: $(120' \times 10' \times 1.5') / 27 = 66$ CY
 SWALE EXCAVATION: $(160' \times 6' \times 2') / 27 = 71$ CY
 TOTAL BERM QUANTITY: 188 CUBIC YARDS
 40' x 35' x 4.5' HEIGHT
 NOTE: TOPSOIL AT RAIN GARDEN WILL BE USED FOR CONCRETE PAD REPLACEMENT.

3	11/05/24	PARKING LOT APRON NOTE	SJR	JRC
2	10/16/24	CONSTRUCTION ENTRANCE, NOTES	SJR	JRC
1	09/09/24	GRADING, RAIN GARDEN, SWALE	SJR	JRC
0	05/08/24	ISSUED FOR COMMENT	SJR	JRC

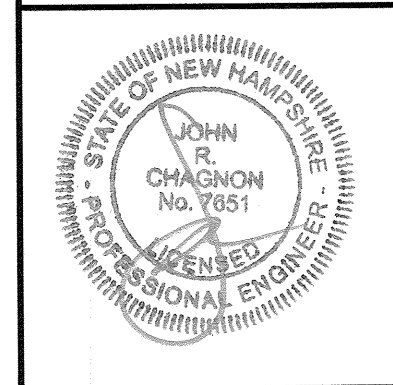
PERMIT PLAN

HALEYWARD
 ENGINEERING | ENVIRONMENTAL | SURVEYING
 200 Griffin Rd, Unit 14
 Portsmouth, New Hampshire 03801
 603.430.9282
 WWW.HALEYWARD.COM

SITE PLAN
 GREAT CIRCLE CATERING
 282 CORPORATE DRIVE, PORTSMOUTH, N.H.

EROSION CONTROL & GRADING PLAN

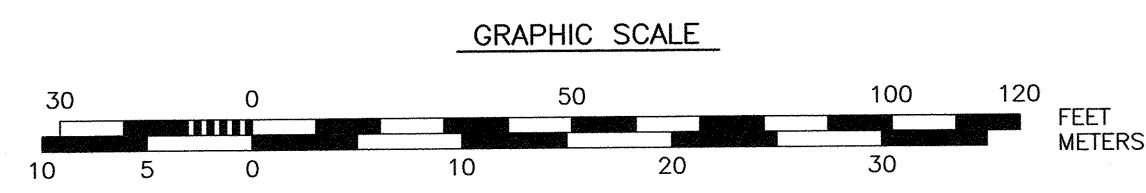
DATE	MAY 2024	SCALE	1" = 30'
DRAWN BY	SJR	DESIGNED BY	JRC
CHECKED BY	JRC	CHECKED BY	JRC
PROJECT No.	5010175	FIELD BOOK & PAGE	843.02 FB 85 PG 1
DRAWING No.			



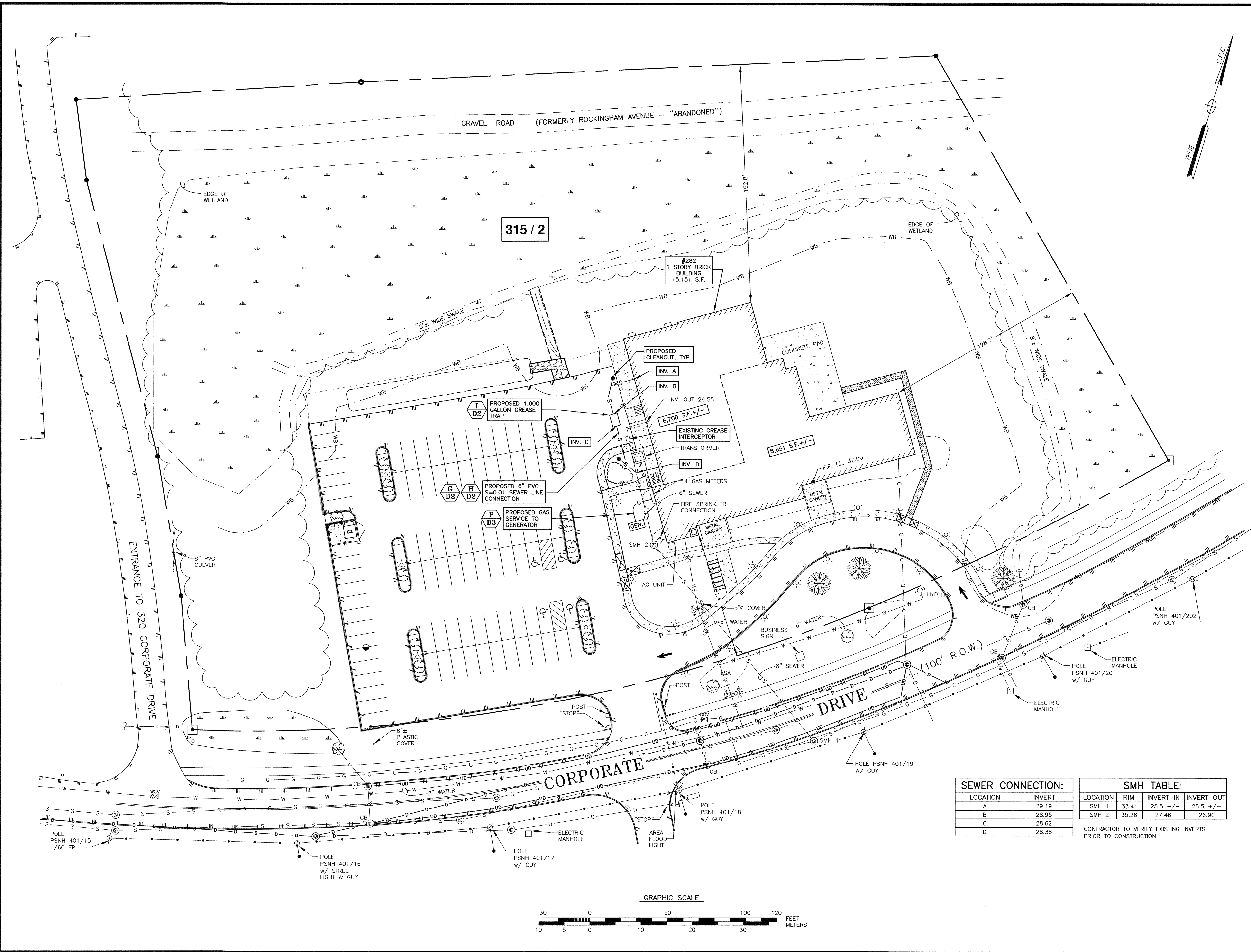
SHEET 3 C3

NOTES:

- A. THE CONTRACTOR SHALL CLEAN THE ENTIRE STORMWATER SYSTEM OF ALL SEDIMENT AND DEBRIS, WITHIN THE LIMIT OF WORK, UPON COMPLETION OF CONSTRUCTION.
- B. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO THE ISSUANCE OF CERTIFICATE OF OCCUPANCY OR RELEASE OF BOND, THE APPLICANT SHALL SUBMIT A LETTER TO THE PEACE DEVELOPMENT AUTHORITY, SIGNED AND STAMPED BY A PROFESSIONAL ENGINEER, STATING CONSTRUCTION HAS BEEN COMPLETED IN CONFORMANCE WITH THE APPROVED PLANS.
- C. THE CONTRACTOR SHALL ACQUIRE A PDA DIG PERMIT BEFORE ANY DISTURBANCE CAN TAKE PLACE. ALLOW 7 CALENDAR DAYS FOR PROCESS.
- D. CONTRACTOR SHALL OBTAIN A NPDES CONSTRUCTION GENERAL PERMIT PRIOR TO CONSTRUCTION. THIS INCLUDES PREPARING A STORMWATER POLLUTION PREVENTION PLAN AND FILING A NOTICE OF INTENT WITH EPA.
- E. CONTRACTOR SHALL FILE FOR AND OBTAIN A TEMPORARY GROUNDWATER DISCHARGE PERMIT FROM NHDES FOR ANY DEWATERING. THE CONTRACTOR SHALL COORDINATE WITH THE PDA, NHDES AND THE AIR FORCE PRIOR TO FILING FOR THE PERMIT.
- F. SOIL AND GROUNDWATER AT PEASE INTERNATIONAL TRADEPORT MAY CONTAIN PFAS. HANDLE IN ACCORDANCE WITH STATE AND FEDERAL RULES AND REGULATIONS.
- G. ALL EXCESS EXCAVATED SOIL MATERIAL SHALL REMAIN ONSITE AND SHALL BE PLACED IN THE EXCESS SOIL BERM. NO EXISTING SOILS SHALL BE REMOVED FROM THE SITE.
- H. THE APPLICANT SHALL SUBMIT AS-BUILT PLANS ON REPRODUCIBLE MYLAR AND IN DIGITAL FORMAT (AUTOCAD .DWG FORMAT) ON FLASH DRIVE TO THE PDA UPON COMPLETION OF THE PROJECT. AS-BUILTS SHALL BE PREPARED AND CERTIFIED BY A REGISTERED NEW HAMPSHIRE LAND SURVEYOR OR PROFESSIONAL ENGINEER. AN ELECTRONIC FILE OF THE SITE LAYOUT SHALL BE SUBMITTED TO THE CITY OF PORTSMOUTH'S GIS DEPARTMENT.



P:\NH\0175_PDA_CDA_PMB\03_282 Corporate Dr. Portsmouth, NH\0175_PDA_CDA_PMB\03_282 Corporate Dr. 11/22/2024 13:03:01 PM



- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY WITHIN 100 FEET OF UNDERGROUND UTILITIES. THE EXCAVATOR IS RESPONSIBLE TO MAINTAIN MARKS. DIG SAFE TICKETS EXPIRE IN THIRTY DAYS.
 - 2) UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVE GROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
 - 3) CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL", VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
 - 4) PROPOSED SEWER FLOW:
GREAT CIRCLE CATERING (FROM WATER USE RECORDS)
265 GALLONS PER DAY UNSPECIFIED OFFICE USE 7,700 S.F. X 2.5 GPD/100 S.F. = 193 GALLONS PER DAY.
TOTAL PROPOSED FLOW: 458 GALLONS PER DAY.
 - 5) GREASE TRAP (INTERCEPTOR) SIZING:
265 GALLONS PER DAY X 36 HOURS RESONANCE TIME = 400 GALLONS. USE 1,000 GALLON GREASE INTERCEPTOR.

No.	DATE	DESCRIPTION	BY	CHK.
2	10/16/24	GREASE TRAP LOCATION, INVERTS	SJR	JRC
1	09/09/24	EXISTING SITE FEATURES	SJR	JRC
0	08/06/24	ISSUED FOR COMMENT	SJR	JRC

PERMIT PLAN

HALEYWARD
ENGINEERING | ENVIRONMENTAL | SURVEYING
200 Griffin Rd., Unit 14
Portsmouth, New Hampshire 03801
603.430.9282
WWW.HALEYWARD.COM

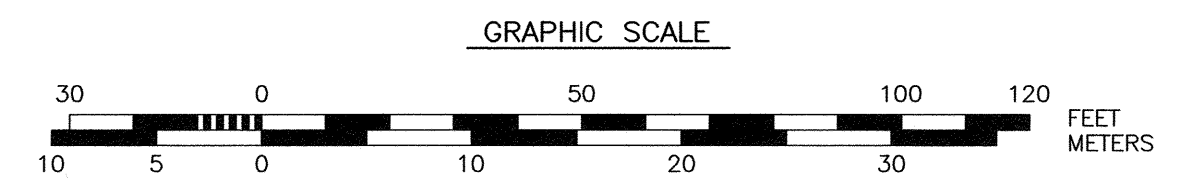
SITE PLAN
GREAT CIRCLE CATERING
282 CORPORATE DRIVE, PORTSMOUTH, N.H.

UTILITY PLAN

LOCATION	INVERT
A	29.19
B	28.95
C	28.62
D	28.38

LOCATION	RIM	INVERT IN	INVERT OUT
SMH 1	33.41	25.5 +/-	25.5 +/-
SMH 2	35.26	27.46	26.90

CONTRACTOR TO VERIFY EXISTING INVERTS PRIOR TO CONSTRUCTION



DATE: MAY 2024 SCALE: 1" = 30'

DRAWN BY: SJR DESIGNED BY: JRC CHECKED BY: JRC

PROJECT No.: 5010175.843.02 FIELD BOOK & PAGE: FB 85 PG 1

DRAWING No.: SHEET 4 C4

P:\WORK\10175_P&L\C4_A\443.02_Corporate.dwg, 07/20/24 10:31:11 AM

CONSTRUCTION SEQUENCE

DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.

INSTALL SILT SOXX TO CONTROL EROSION AND SEDIMENTATION PRIOR TO ANY EARTH MOVING ACTIVITIES.

REMOVE EXISTING PAVEMENT, CONCRETE, AND OTHER SITE FEATURES TO BE REMOVED, AND CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE.

CUT AND REMOVE ALL TREES, SHRUBS, SAPLINGS, BRUSH, VINES AND OTHER DEBRIS AND RUBBISH AS REQUIRED.

STRIP AND STOCKPILE LOAM FROM SITE. STOCKPILES SHALL BE SURROUNDED WITH SILT SOXX TO CONTROL SEDIMENT RUN OFF.

ROUGH GRADE SITE AND CONSTRUCT RAIN GARDEN AND SWALE. INSTALL AND MAINTAIN EROSION CONTROL DEVICES AS SHOWN ON THE PLANS. ALL PERMANENT DITCHES, AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM. CONSTRUCT BUILDING RENOVATION.

LOAM AND SEED DISTURBED AREAS IN ACCORDANCE WITH VEGETATIVE PRACTICE AND GENERAL CONSTRUCTION NOTES. CUT AND FILL SLOPES SHALL BE SEEDED IMMEDIATELY AFTER THEIR CONSTRUCTION.

CONSTRUCT UTILITIES AND PAVEMENT BASE COURSE.

PLANT LANDSCAPING.

CONSTRUCT PAVEMENT WEARING COURSE.

REMOVE TRAPPED SEDIMENTS FROM COLLECTION DEVICES AS APPROPRIATE, AND THEN REMOVE TEMPORARY EROSION CONTROL MEASURES.

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF BUILDING RE-DEVELOPMENT WITH ASSOCIATED PARKING AND UTILITIES.

THE TOTAL AREA TO BE DISTURBED IS APPROXIMATELY 1.118 ACRES.

BASED ON THE USCS WEB SOIL SURVEY THE SOILS ON SITE CONSIST OF URBAN LAND ID #799.

THE STORMWATER RUNOFF FROM THE SITE WILL BE DISCHARGED VIA OVERLAND DRAINAGE PATHWAYS WHICH ULTIMATELY FLOW TO HODGDON BROOK.

GENERAL CONSTRUCTION NOTES

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE". THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. NO DISTURBED AREA SHALL BE LEFT UNSTABILIZED FOR MORE THAN 45 DAYS.

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3800 RELATIVE TO INVASIVE SPECIES.

DUST CONTROL: DUST CONTROL MEASURES SHALL INCLUDE BUT ARE NOT LIMITED TO SPRINKLING WATER ON EXPOSED AREAS, COVERING LOADED DUMP TRUCKS LEAVING THE SITE, AND TEMPORARY MULCHING.

DUST CONTROL MEASURES SHALL BE UTILIZED SO AS TO PREVENT THE MIGRATION OF DUST FROM THE SITE TO ADJUTING AREAS.

IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

SILT/STOCK SHALL BE PERIODICALLY INSPECTED DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM. ALL DAMAGED SILT/STOCK SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

ALL NON-STRUCTURAL, SITE-FILL SHALL BE PLACED AND COMPACTED TO 90% MODIFIED PROCTOR DENSITY IN LAYERS NOT EXCEEDING 18 INCHES IN THICKNESS UNLESS OTHERWISE NOTED.

FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIAL, TRASH, WOODY DEBRIS, LEAVES, BRUSH OR ANY DELETERIOUS MATTER SHALL NOT BE INCORPORATED INTO FILLS.

FILL MATERIAL SHALL NOT BE PLACED ON FROZEN FOUNDATION SUBGRADE.

DURING CONSTRUCTION AND UNTIL ALL DEVELOPED AREAS ARE FULLY STABILIZED, ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH ONE HALF INCH OF RAINFALL.

THE CONTRACTOR SHALL MODIFY OR ADD EROSION CONTROL MEASURES AS NECESSARY TO ACCOMMODATE PROJECT CONSTRUCTION.

ALL ROADWAYS AND PARKING AREAS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE. ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOAMED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED ON AREAS TO BE PAVED
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED
 - EROSION CONTROL BLANKETS HAVE BEEN INSTALLED.
 - IN AREAS TO BE PAVED, "STABLE" MEANS THAT BASE COURSE GRAVELS MEETING THE REQUIREMENTS OF NHDOT STANDARD FOR ROAD AND BRIDGE CONSTRUCTION, 2016, ITEM 304.2 HAVE BEEN INSTALLED.

STABILIZATION SHALL BE INITIATED ON ALL LOAM STOCKPILES, AND DISTURBED AREAS, WHERE CONSTRUCTION ACTIVITY SHALL NOT OCCUR FOR MORE THAN TWENTY-ONE (21) CALENDAR DAYS BY THE FOURTEENTH (14TH) DAY AFTER CONSTRUCTION ACTIVITY HAS PERMANENTLY OR TEMPORARILY CEASED IN THAT AREA.

STABILIZATION MEASURES TO BE USED INCLUDE:
 - TEMPORARY SEEDING;
 - MULCHING.

- ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- WHEN CONSTRUCTION ACTIVITY PERMANENTLY OR TEMPORARILY CEASES WITHIN 100 FEET OF NEARBY SURFACE WATERS OR DELINEATED WETLANDS, THE AREA SHALL BE STABILIZED WITHIN SEVEN (7) DAYS OR PRIOR TO A RAIN EVENT. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN THESE AREAS, SILT/STOCK, MULCH BERMS, HAY BALE BARRIERS AND ANY EARTH/DIKES SHALL BE REMOVED ONCE PERMANENT MEASURES ARE ESTABLISHED.

3. DURING CONSTRUCTION, RUNOFF WILL BE DIVERTED AROUND THE SITE WITH EARTH DIKES, PIPING OR STABILIZED CHANNELS WHERE POSSIBLE. SHEET RUNOFF FROM THE SITE WILL BE FILTERED THROUGH SILT/STOCK, MULCH BERMS, HAY BALE BARRIERS, OR SILT SOCKS. ALL STORM DRAIN BASIN INLETS SHALL BE PROVIDED WITH FLARED END SECTIONS AND TRASH RACKS. THE SITE SHALL BE STABILIZED FOR THE WINTER BY OCTOBER 15.

SEEDING NOTES

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

PROPOSED RAIN GARDEN AND VEGETATED SWALE TO BE SEEDED WITH RIPARIAN BUFFER MIX (OR EQUIVALENT) SPACED THROUGHOUT. SEED MIX CAN BE OBTAINED FROM PIERSON NURSERIES, INC., 24 BUZZELL ROAD, BIDDEFORD, ME 04005. 207-499-2994. WWW.PIERSONNURSERIES.COM.

MAINTENANCE AND PROTECTION

THE SILT/STOCK BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.

SILT/STOCK SHALL BE REMOVED ONCE SITE IS STABILIZED, AND DISTURBED AREAS RESULTING FROM SILT/STOCK REMOVAL SHALL BE PERMANENTLY SEEDED.

THE CATCH BASIN INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING.

SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

WINTER NOTES

ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATED GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS;

AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3, OR IF CONSTRUCTION IS TO CONTINUE THROUGH THE WINTER SEASON BE CLEARED OF ANY ACCUMULATED SNOW AFTER EACH STORM EVENT;

STOCKPILES

- LOCATE STOCKPILES A MINIMUM OF 50 FEET AWAY FROM CATCH BASINS, SWALES, AND CULVERTS.
- ALL STOCKPILES SHOULD BE SURROUNDED WITH TEMPORARY EROSION CONTROL MEASURES PRIOR TO THE ONSET OF PRECIPITATION.
- PERIMETER BARRIERS SHOULD BE MAINTAINED AT ALL TIMES, AND ADJUSTED AS NEEDED TO ACCOMMODATE THE DELIVERY AND REMOVAL OF MATERIALS FROM THE STOCKPILE. THE INTEGRITY OF THE BARRIER SHOULD BE INSPECTED AT THE END OF EACH WORKING DAY.
- PROTECT ALL STOCKPILES FROM STORMWATER RUN-OFF USING TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT SOCK, OR OTHER APPROVED PRACTICE TO PREVENT MIGRATION OF MATERIAL BEYOND THE IMMEDIATE CONFINES OF THE STOCKPILES.

CONCRETE WASHOUT AREA

THE FOLLOWING ARE THE ONLY NON-STORMWATER DISCHARGES ALLOWED. ALL OTHER NON-STORMWATER DISCHARGES ARE PROHIBITED ON SITE:

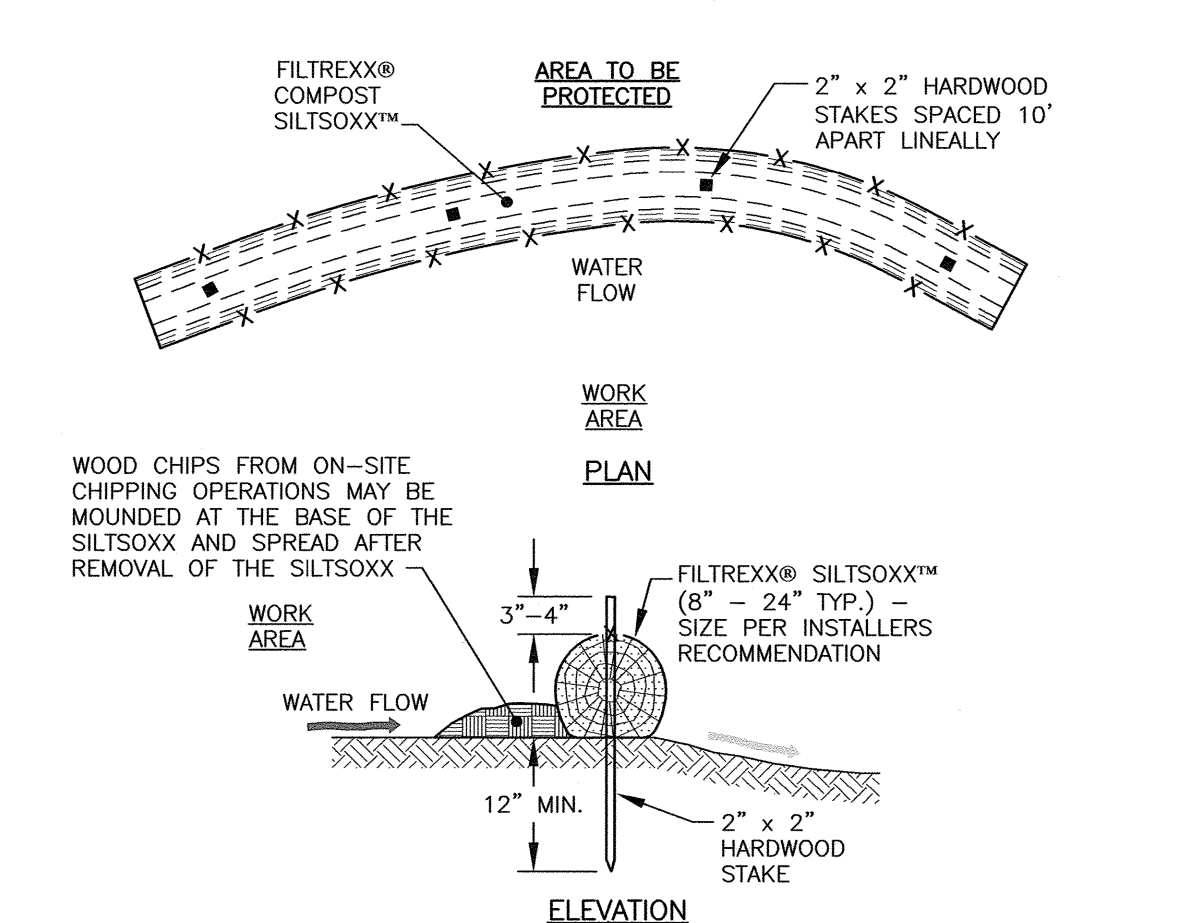
- THE CONCRETE DELIVERY TRUCKS SHALL, WHENEVER POSSIBLE, USE WASHOUT FACILITIES AT THEIR OWN PLANT OR DISPATCH FACILITY;
- IF IT IS NECESSARY, SITE CONTRACTOR SHALL DESIGNATE SPECIFIC WASHOUT AREAS AND DESIGN FACILITIES TO HANDLE ANTICIPATED WASHOUT WATER;
- CONTRACTOR SHALL LOCATE WASHOUT AREAS AT LEAST 150 FEET AWAY FROM STORM DRAINS, SWALES AND SURFACE WATERS OR DELINEATED WETLANDS;
- INSPECT WASHOUT FACILITIES DAILY TO DETECT LEAKS OR TEARS AND TO IDENTIFY WHEN MATERIALS NEED TO BE REMOVED.

ALLOWABLE NON-STORMWATER DISCHARGES

- FIRE-FIGHTING ACTIVITIES;
- FIRE HYDRANT FLUSHING;
- WATERS USED TO WASH VEHICLES WHERE DETERGENTS ARE NOT USED;
- WATER USED TO CONTROL DUST;
- POTABLE WATER INCLUDING UNCONTAMINATED WATER LINE FLUSHING;
- ROUTINE EXTERNAL BUILDING WASH DOWN WHERE DETERGENTS ARE NOT USED;
- PAVEMENT WASH WATERS WHERE DETERGENTS ARE NOT USED;
- UNCONTAMINATED AIR CONDITIONING/COMPRESSOR CONDENSATION;
- UNCONTAMINATED GROUND WATER OR SPRING WATER;
- FOUNDATION OR FOOTING DRAINS WHICH ARE UNCONTAMINATED;
- LANDSCAPE IRRIGATION.

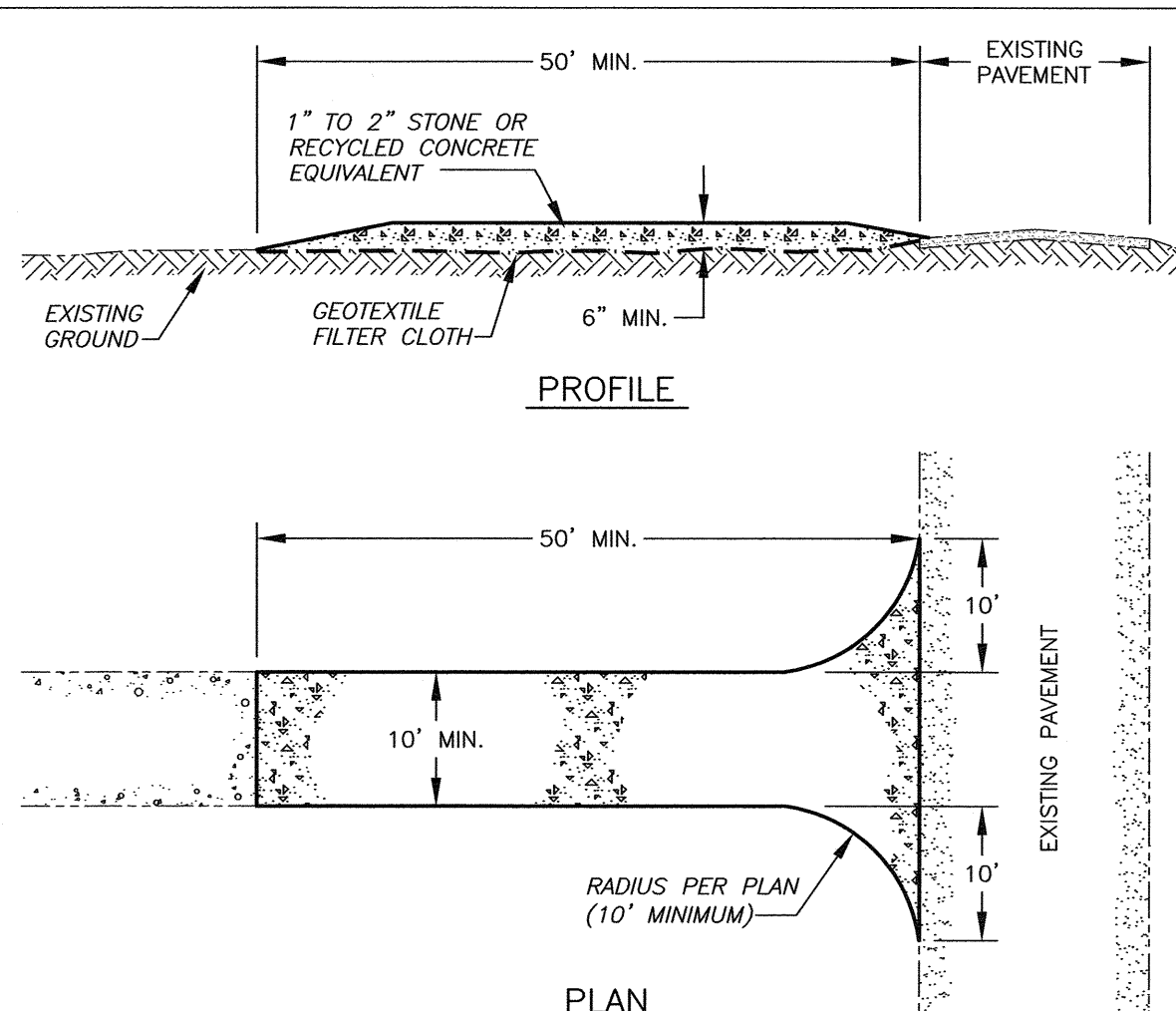
WASTE DISPOSAL

- WASTE MATERIAL
 - ALL WASTE MATERIALS SHALL BE COLLECTED AND STORED IN SECURELY LIDDED RECEPTACLES. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE SHALL BE DEPOSITED IN A DUMPSTER;
 - NO CONSTRUCTION WASTE MATERIALS SHALL BE BURIED ON SITE;
 - ALL PERSONNEL SHALL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL BY THE SUPERINTENDENT.
- HAZARDOUS WASTE
 - ALL HAZARDOUS WASTE MATERIALS SHALL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER;
 - SITE PERSONNEL SHALL BE INSTRUCTED IN THESE PRACTICES BY THE SUPERINTENDENT.
- SANITARY WASTE
 - ALL SANITARY WASTE SHALL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF ONCE PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.



- NOTES:**
- ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS.
 - FILTREXX SYSTEM SHALL BE INSTALLED BY A CERTIFIED FILTREXX INSTALLER.
 - THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTRATION SYSTEM IN A FUNCTIONAL CONDITION AT ALL TIMES. IT WILL BE ROUTINELY INSPECTED AND REPAIRED WHEN REQUIRED.
 - SILT/STOCK DEPICTED IS FOR MINIMUM SLOPES, GREATER SLOPES MAY REQUIRE ADDITIONAL PLACEMENTS.
 - THE COMPOST FILTER MATERIAL WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.

A C3 FILTREXX® SILT/STOCK™ FILTRATION SYSTEM NTS

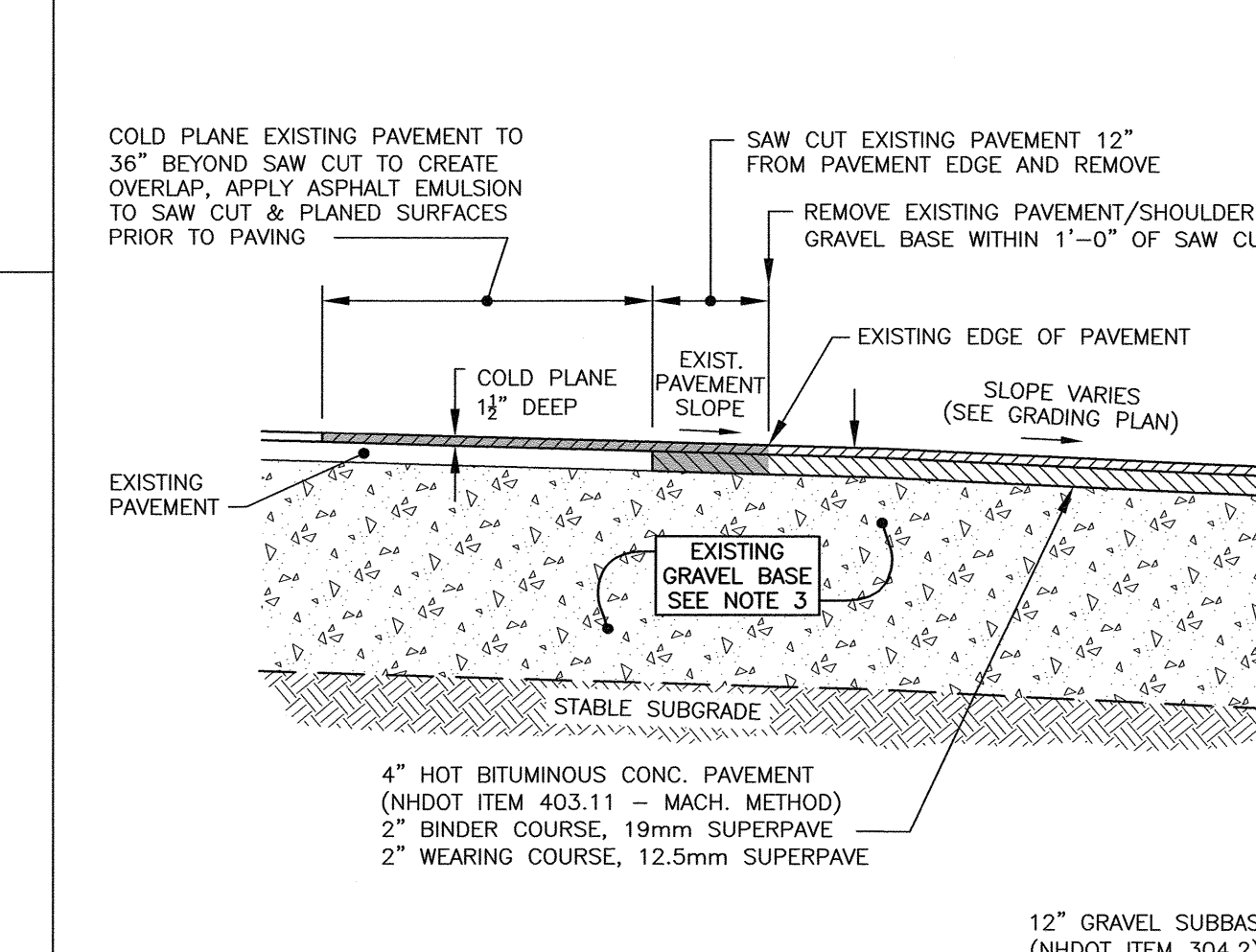
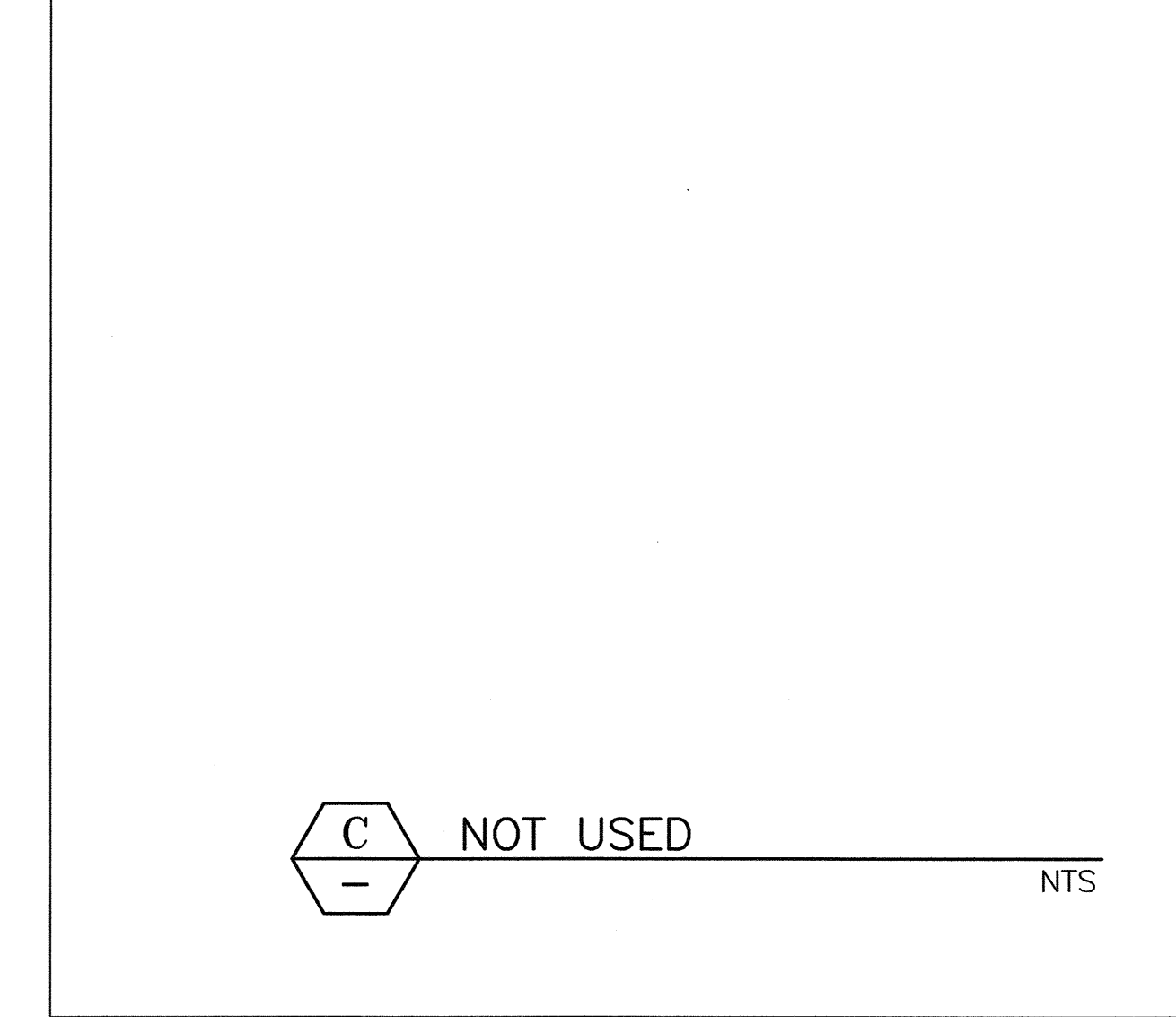


- MAINTENANCE**
- MUD AND SOIL PARTICLES WILL EVENTUALLY CLOG THE VOIDS IN THE GRAVEL AND THE EFFECTIVENESS OF THE GRAVEL PAD WILL NOT BE SATISFACTORY. WHEN THIS OCCURS, THE PAD SHOULD BE TOP DRESSED WITH NEW STONE. COMPLETE REPLACEMENT OF THE PAD MAY BE NECESSARY WHEN THE PAD BECOMES COMPLETELY CLOGGED.
 - IF WASHING FACILITIES ARE USED, THE SEDIMENT TRAPS SHOULD BE CLEANED OUT AS OFTEN AS NECESSARY TO ASSURE THAT ADEQUATE TRAPPING EFFICIENCY AND STORAGE VOLUME IS AVAILABLE. VEGETATIVE FILTER STRIPS SHOULD BE MAINTAINED TO INSURE A VIGOROUS STAND OF VEGETATION AT ALL TIMES.

CONSTRUCTION SPECIFICATIONS

- STONE FOR A STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
- THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
- THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
- THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICHEVER IS GREATER.
- GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER CLOTH IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENCE LOT.
- ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.
- WHEELS SHALL BE CLEANED TO REMOVE MUD PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY, WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

B C3 STABILIZED CONSTRUCTION ENTRANCE NTS



- NOTES:**
- PAVEMENT SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS - SECTION 401.
 - CRUSHED GRAVEL AND GRAVEL SUBBASE SHALL CONFORM TO NHDOT STANDARD SPECIFICATIONS - SECTION 304, TABLE 1E, AND SHALL BE COMPACTED AS INDICATED IN SECTION 304, 3.6 COMPACTION, AND 3.7 DENSITY TESTING, AND CITY OF PORTSMOUTH CONSTRUCTION STANDARDS.
 - EXISTING BASE WITH PAVEMENT GRINDING SHALL BE RE-USED.

D C2 PAVEMENT / PAVEMENT JOINT DETAIL NTS

No.	DATE	DESCRIPTION	BY	CHK.
1	10/16/24	DETAIL C, D, NOTES	SJR	JRC
0	08/06/24	ISSUED FOR COMMENT	SJR	JRC

DATE	SCALE
MAY 2024	SCALE: NTS

DRAWN BY	DESIGNED BY	CHECKED BY
SJR	JRC	JRC

PROJECT No.	FIELD BOOK & PAGE
5010175.843.03	FB 85 PG 1

DRAWING No.	REV.
SHEET 5	D1

NOTES:

- UNDERGROUND UTILITY LOCATIONS ARE BASED UPON BEST AVAILABLE EVIDENCE AND ARE NOT FIELD VERIFIED. LOCATING AND PROTECTING ANY ABOVEGROUND OR UNDERGROUND UTILITIES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR THE OWNER. UTILITY CONFLICTS SHOULD BE REPORTED AT ONCE TO THE DESIGN ENGINEER.
- THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
- CONTRACTOR SHALL INSTALL AND MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH THE "NEW HAMPSHIRE STORMWATER MANUAL, VOLUME 3, EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. (NHDES DECEMBER 2008).
- PURSUANT TO RSA 483-B:9 11 (D), NO FERTILIZER SHALL BE APPLIED TO VEGETATION OR SOILS LOCATED WITHIN 25 FEET OF THE REFERENCE LINE OF ANY PUBLIC WATER. BEYOND 25 FEET, SLOW OR CONTROLLED RELEASE FERTILIZER MAY BE USED. SLOW RELEASE NITROGEN MUST CONTAIN NO MORE THAN 2% PHOSPHORUS, AND A NITROGEN COMPONENT WHICH IS AT LEAST 50% SLOW RELEASE NITROGEN COMPONENTS.
- NO CHEMICALS INCLUDING PESTICIDES OR HERBICIDES OF ANY KIND, SHALL BE APPLIED TO GROUND, TURF, OR ESTABLISHED VEGETATION WITHIN THE WETLAND BUFFER, EXCEPT IF APPLIED BY HORTICULTURE PROFESSIONAL WHO HAVE AN APPLICATION LICENSE. NO CALCIUM CHLORIDE SHALL BE APPLIED WITHIN THE WETLAND BUFFER.

1	10/16/24	DETAIL C, D, NOTES	SJR	JRC
0	08/06/24	ISSUED FOR COMMENT	SJR	JRC

PERMIT PLAN

HALEYWARD
 ENGINEERING | ENVIRONMENTAL | SURVEYING
 200 Griffin Rd. Unit 14
 Portsmouth, New Hampshire 03801
 603.430.9282
 WWW.HALEYWARD.COM

SITE PLAN
 GREAT CIRCLE CATERING
 282 CORPORATE DRIVE, PORTSMOUTH, N.H.

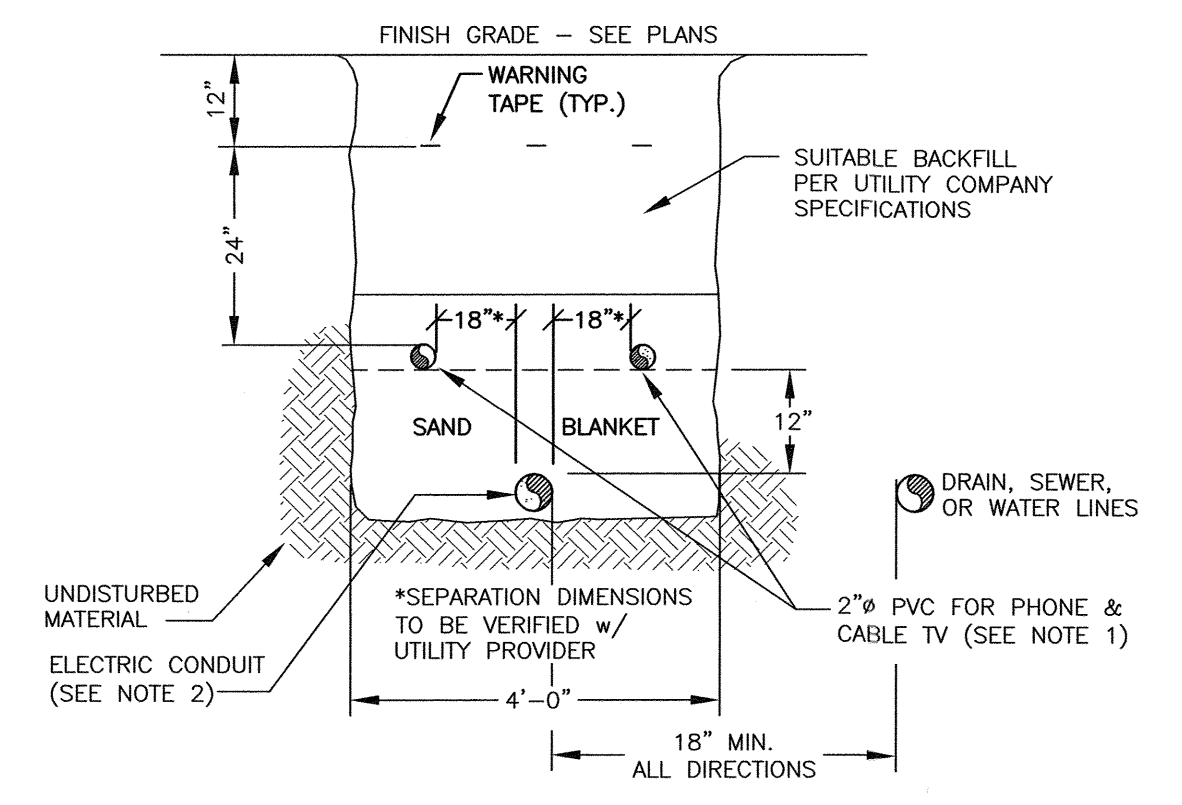
EROSION CONTROL NOTES & DETAILS

DATE: MAY 2024 SCALE: NTS

DRAWN BY	DESIGNED BY	CHECKED BY
SJR	JRC	JRC

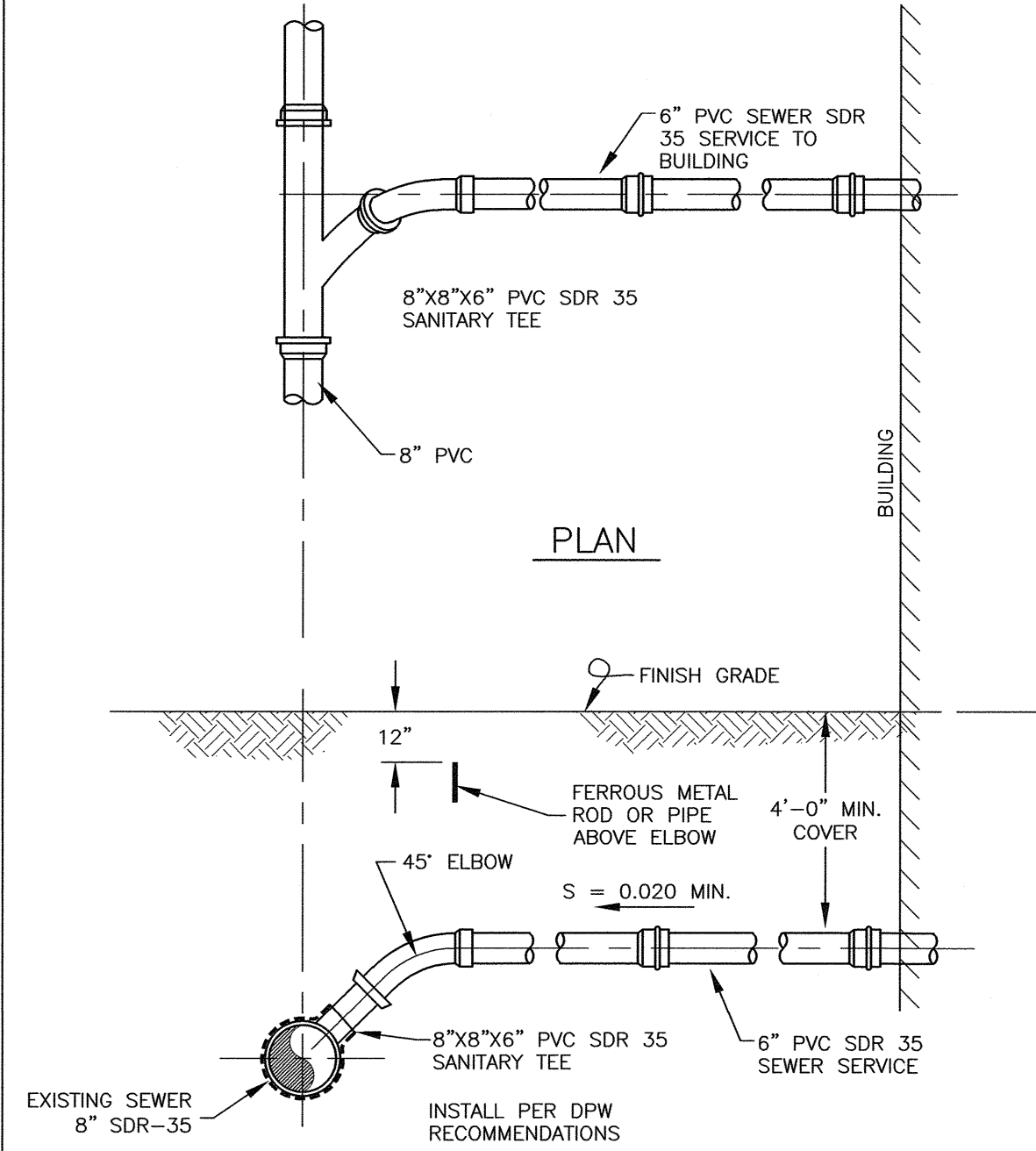
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SHEET 5	D1

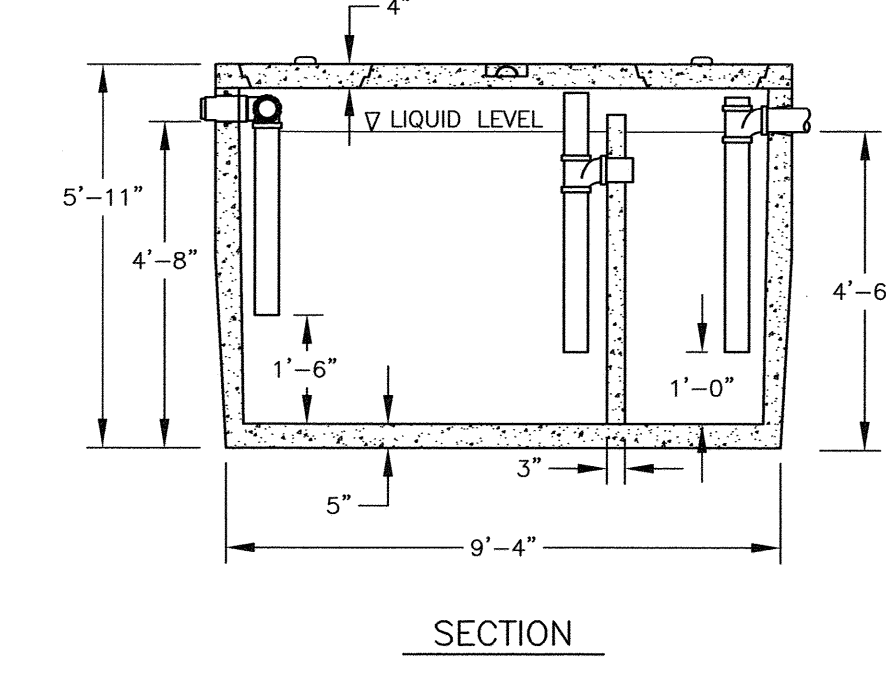
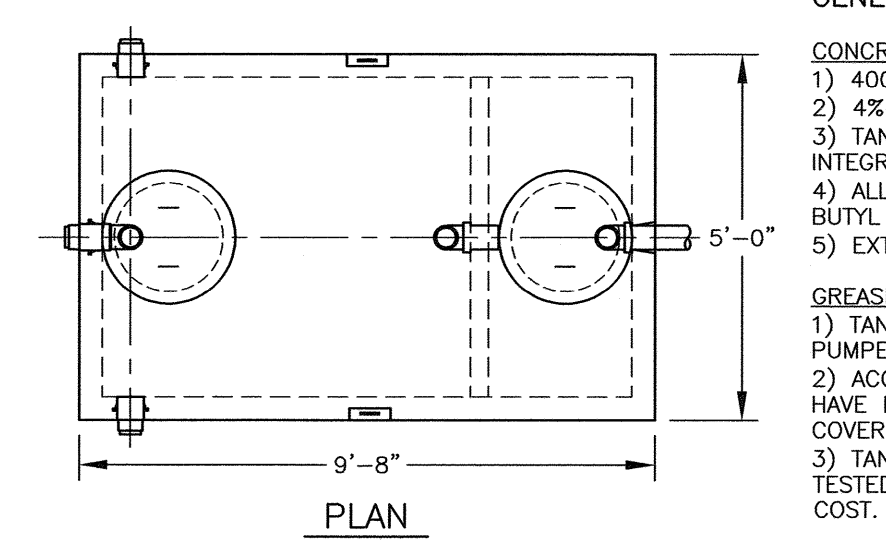


NOTES:
 1) ALL CONDUIT TO BE U.L. LISTED, SCH. 80 UNDER ALL TRAVEL WAYS, & SCH. 40 FOR THE REMAINDER.
 2) NORMAL CONDUIT SIZES FOR EVERSOURCE ARE 3 INCH FOR SINGLE PHASE PRIMARY AND SECONDARY VOLTAGE CABLES, 4 INCH FOR THREE PHASE SECONDARY, AND 5 INCH FOR THREE PHASE PRIMARY.
 3) ALL WORK TO CONFORM TO THE NATIONAL ELECTRICAL CODE (LATEST REVISION)
 4) INSTALL A 200# PULL ROPE FOR EACH CONDUIT
 5) VERIFY ALL CONDUIT SPECIFICATIONS WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION.

F UTILITY TRENCH
C4 ELECTRIC/PHONE/CABLE NTS

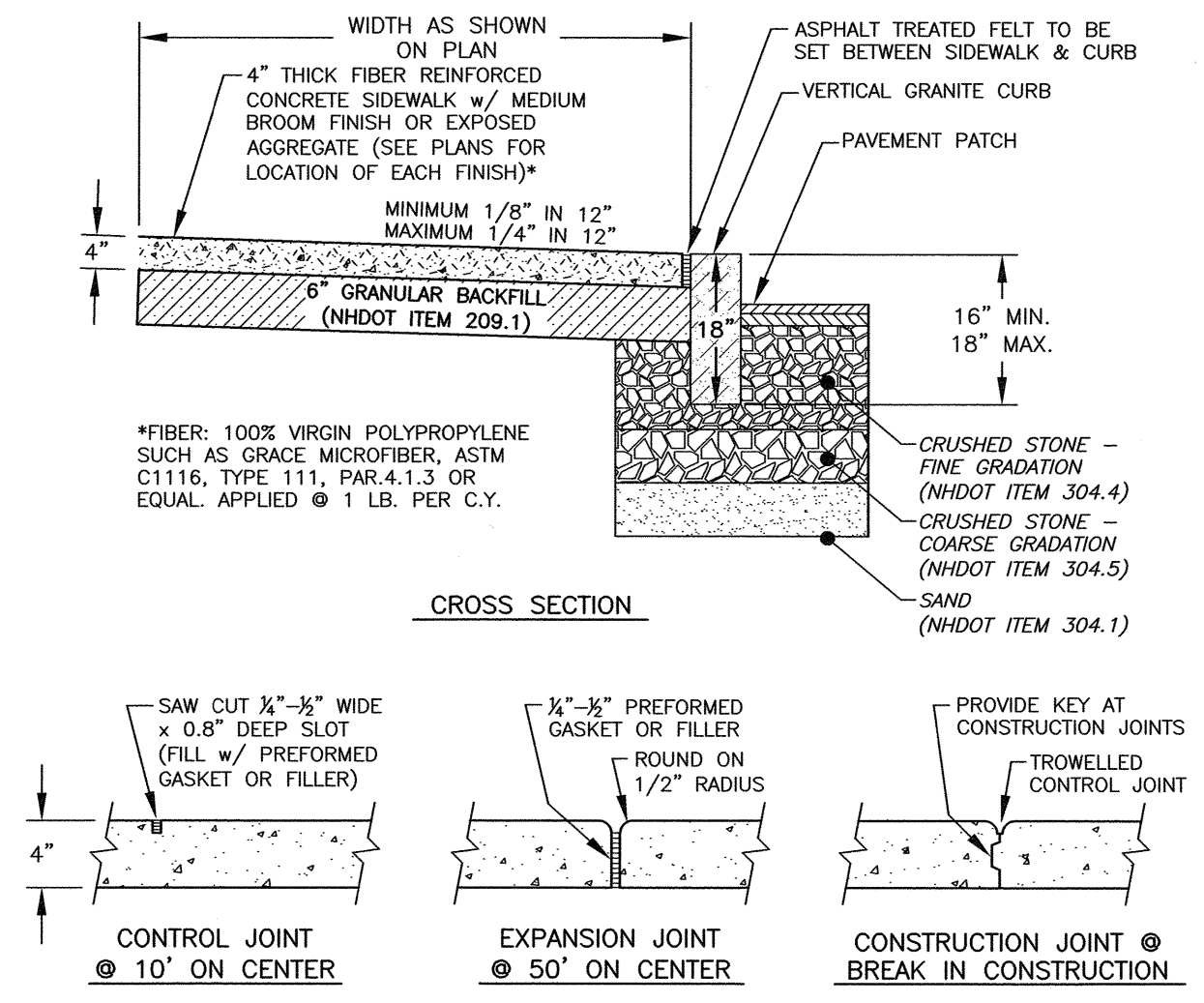


H SEWER SERVICE CONNECTION DETAIL
C4 NTS



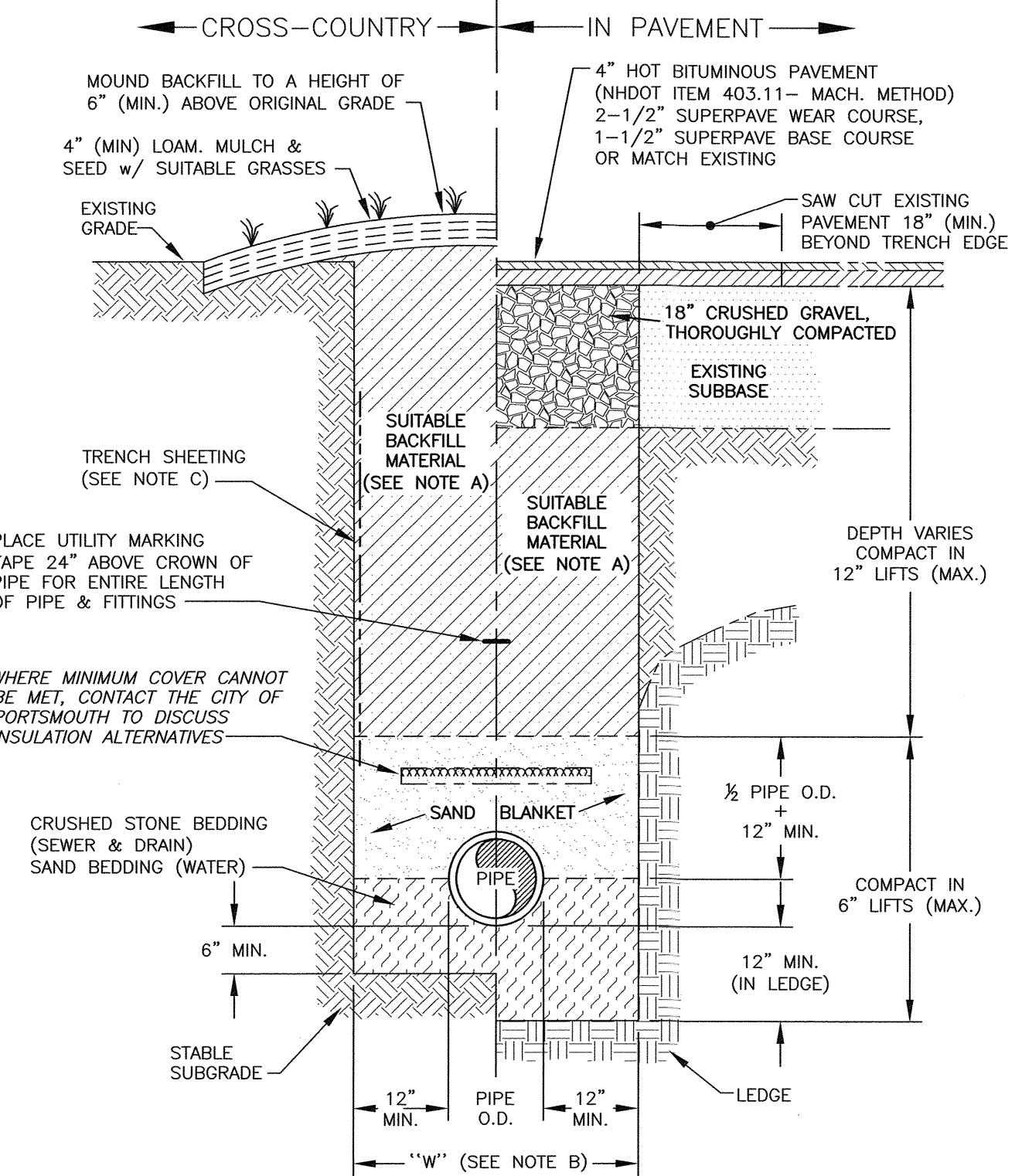
I SHEA CONCRETE
C4 1000 GALLON 2 COMPARTMENT GREASE INTERCEPTOR NTS
 14,825 Lbs ITEM # M1000H H2O LOAD RATED

GENERAL NOTES:
CONCRETE SPECIFICATIONS:
 1) 4000 PSI @ 28 DAYS.
 2) 4%-6% ENTRAINED AIR.
 3) TANK PENETRATIONS ARE INTEGRALLY CAST.
 4) ALL JOINTS SEALED WITH BUTYL RESIN.
 5) EXTERIOR TO BE COATED.
GREASE TRAP INFORMATION:
 1) TANKS SHOULD BE PUMPED AS NEEDED.
 2) ACCESS COVERS SHOULD HAVE RISERS TO BRING COVER ACCESS TO GRADE.
 3) TANKS CAN BE VACUUM TESTED AT AN ADDITIONAL COST.



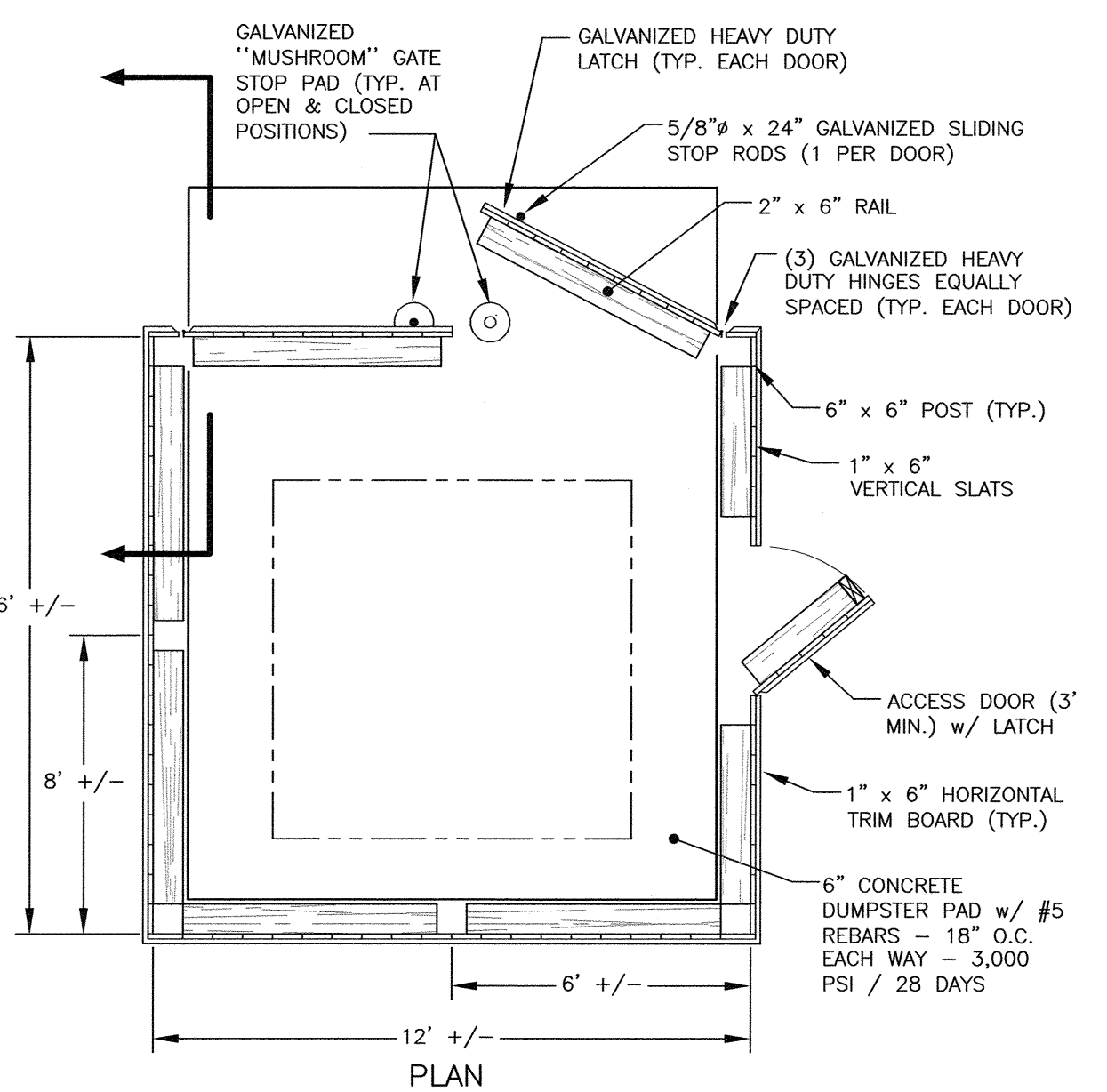
J PORTLAND CEMENT CONCRETE SIDEWALK
C2 NTS

NOTES:
 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
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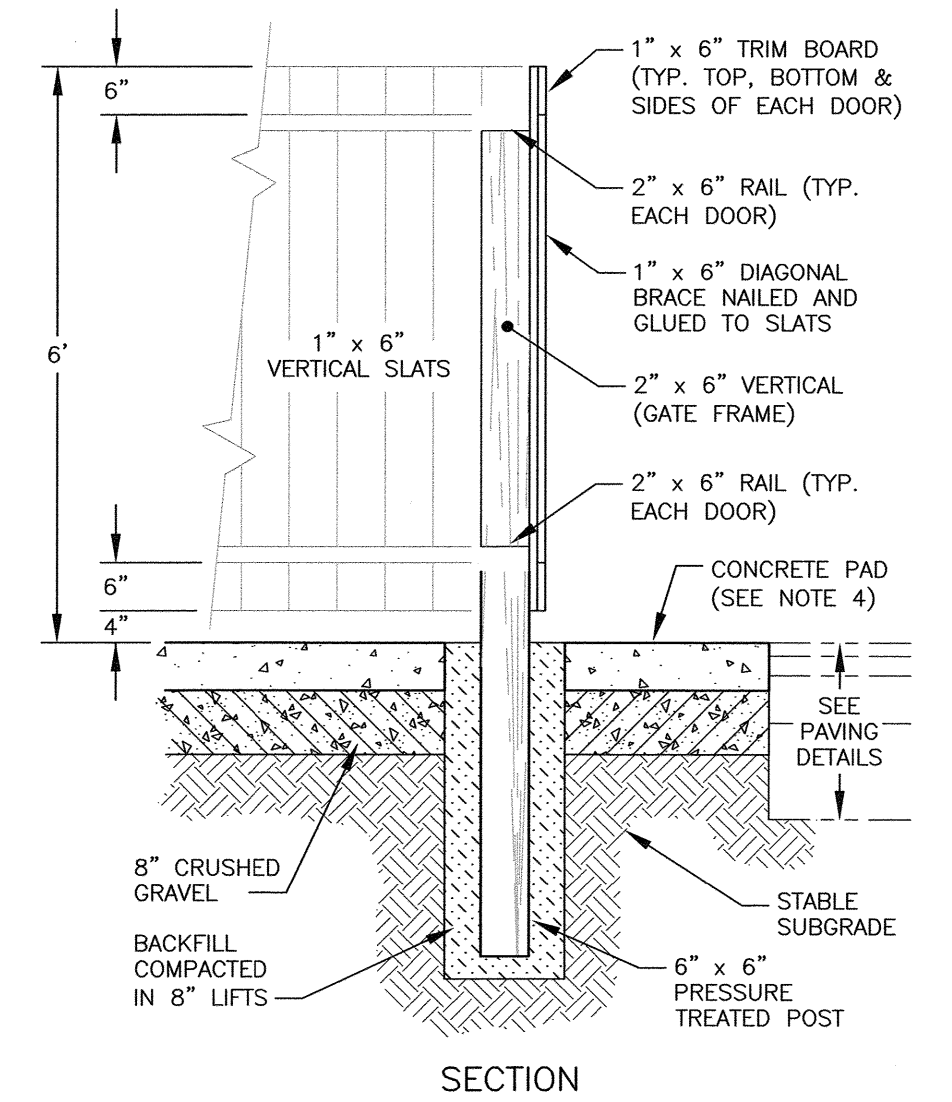


TRENCH NOTES:
 A) TRENCH BACKFILL: - IN PAVED AREAS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIALS DEEMED TO BE UNACCEPTABLE BY THE ENGINEER.
 - IN CROSS-COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF HE IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE.
 B) "W" = MAXIMUM ALLOWABLE TRENCH WIDTH TO A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES. FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D.
 C) TRENCH SHEETING: IF REQUIRED, WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
 D) MINIMUM PIPE COVER FOR UTILITY MAINS (UNLESS GOVERNED BY OTHER CODES):
 6" MINIMUM FOR SEWER (IN PAVEMENT)
 4" MINIMUM FOR SEWER (CROSS COUNTRY)
 3" MINIMUM FOR STORMWATER DRAINS
 5" MINIMUM FOR WATER MAINS
 E) ALL PAVEMENT CUTS SHALL BE REPAIRED BY THE INFRARED HEAT METHOD.

G TYPICAL PIPE TRENCH
C4 NTS



K DUMPSTER WOOD FENCE ENLOSURE
C2 NTS



NOTES:
 1) FENCING SHALL BE PRESSURE TREATED SOUTHERN YELLOW PINE. POSTS SHALL BE PRESSURE TREATED FOR IN GROUND USE.
 2) ALL METAL FITTINGS AND FASTENERS SHALL BE HOT DIP GALVANIZED.
 3) ALTERNATE DESIGNS & MATERIALS MAY BE USED IF CONSTRUCTION DRAWINGS ARE PROVIDED TO, AND APPROVED BY, THE BUILDING INSPECTOR.
 4) CONCRETE PAD: 4" THICK FIBER REINFORCED CONCRETE w/ MEDIUM BROOM FINISH.
 *FIBER: 100% VIRGIN POLYPROPYLENE SUCH AS GRACE MICROFIBER, ASTM C1116, TYPE 111, PAR-4.1.3 OR EQUAL, APPLIED @ 1 LB. PER C.Y.

1	10/16/24	DETAIL K	SJR	JRC
0	08/08/24	ISSUED FOR COMMENT	SJR	JRC
No.	DATE	DESCRIPTION	BY	CHK.

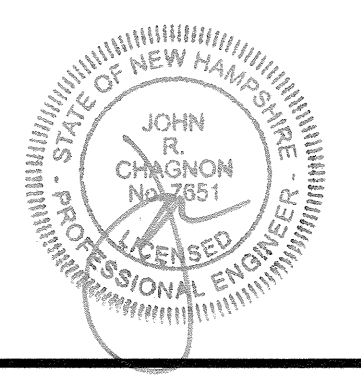
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 WWW.HALEYWARD.COM 603.430.9282

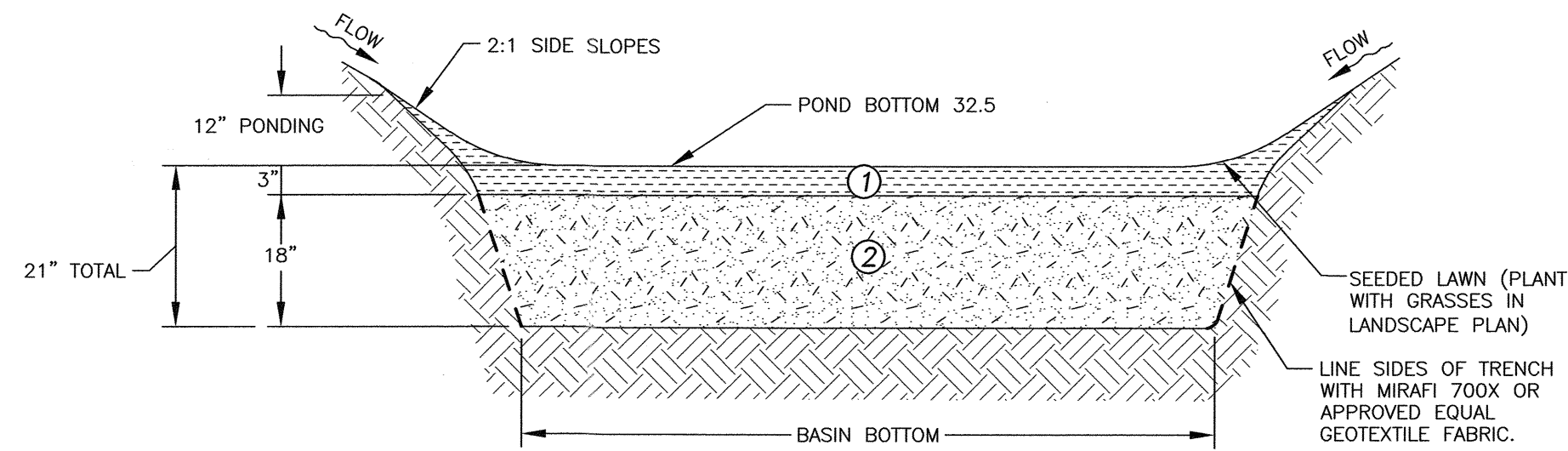
PROJECT
SITE PLAN
 GREAT CIRCLE CATERING
 282 CORPORATE DRIVE, PORTSMOUTH, N.H.

TITLE
DETAILS

DATE	MAY 2024	SCALE	SCALE: NTS
DRAWN BY	SJR	DESIGNED BY	JRC
CHECKED BY	JRC	PROJECT NO.	5010175.843.03
FIELD BOOK & PAGE	FB 85	PAGE	PG 1
DRAWING No.		REV.	
SHEET 6		D2	



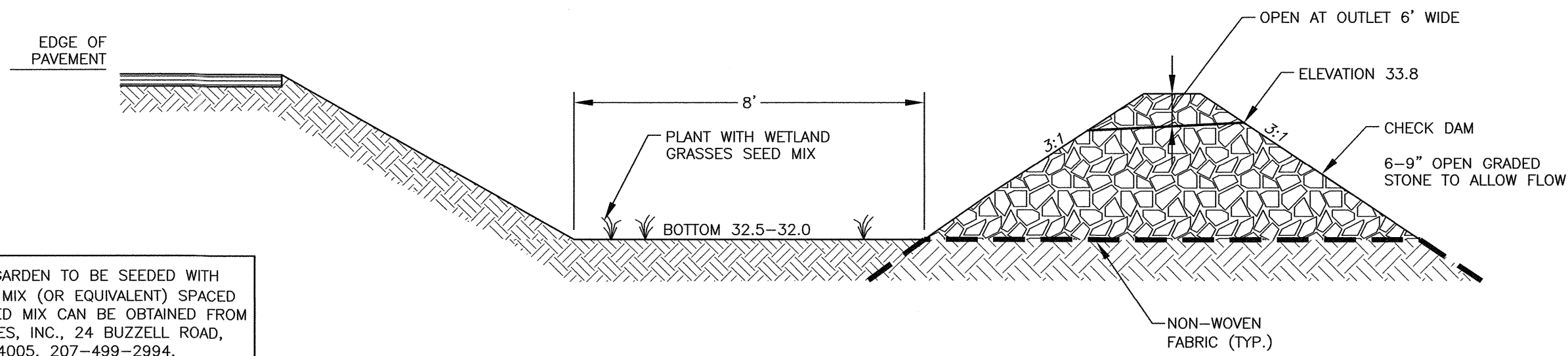
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RAIN GARDEN SECTION

RAIN GARDEN MEDIA											
①	MULCH/GROWING MEDIUM: GRASS SEED MIX A WITH LOAM										
②	SOIL FILTER LAYER: USE UNHSC BIORETENTION SOIL SPECIFICATIONS DATED FEBRUARY, 2017. 20% - 30% MULCH BY VOLUME, MIXED THOROUGHLY WITH LOAMY, COARSE SAND (70% - 80% BY VOLUME) MEETING THE FOLLOWING GRADATION:										
	<table border="1"> <thead> <tr> <th>SIEVE NO.</th> <th>% BY WEIGHT, PASSING</th> </tr> </thead> <tbody> <tr> <td>4</td> <td>100</td> </tr> <tr> <td>10</td> <td>95</td> </tr> <tr> <td>40</td> <td>10 - 25</td> </tr> <tr> <td>200</td> <td>0 - 5</td> </tr> </tbody> </table>	SIEVE NO.	% BY WEIGHT, PASSING	4	100	10	95	40	10 - 25	200	0 - 5
SIEVE NO.	% BY WEIGHT, PASSING										
4	100										
10	95										
40	10 - 25										
200	0 - 5										

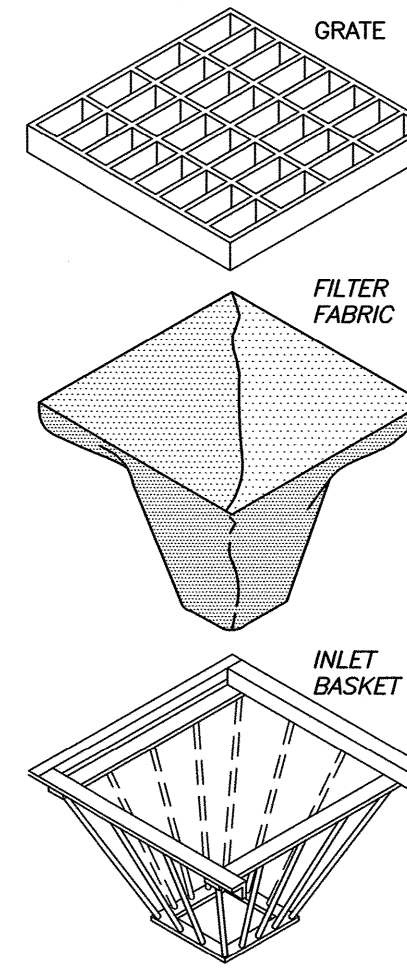
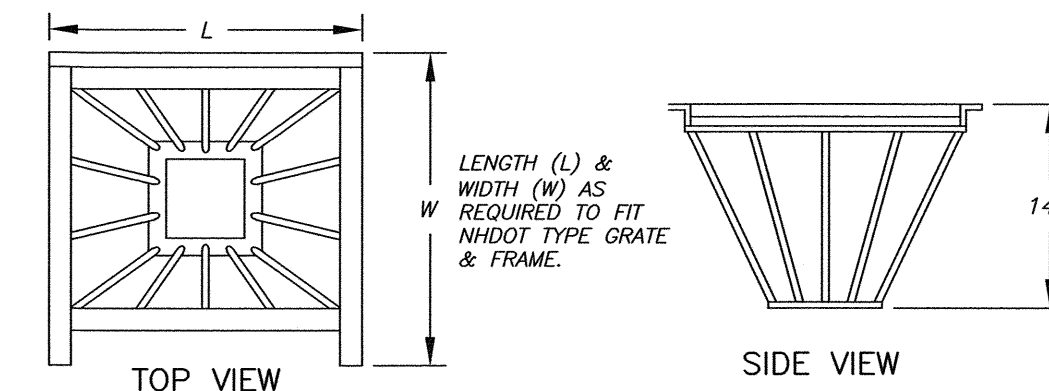
BIORETENTION MAINTENANCE
SOILS: VISUALLY INSPECT AND REPAIR EROSION MONTHLY. USE SMALL STONES TO STABILIZE EROSION ALONG DRAINAGE PATHS. CHECK THE pH ONCE OR TWICE A YEAR. APPLY AN ALKALINE PRODUCT, SUCH AS LIMESTONE, IF NEEDED.
MULCH: REMULCH ANY VOID AREAS BY HAND AS NEEDED. EVERY 6 MONTHS, IN THE SPRING AND FALL, ADD A FRESH MULCH LAYER. ONCE EVERY 2 TO 3 YEARS, IN THE SPRING, REMOVE OLD MULCH LATER BEFORE APPLYING NEW ONE.
PLANTS: IMMEDIATELY AFTER THE COMPLETION OF CELL CONSTRUCTION, WATER GRASS COVERING FOR 14 CONSECUTIVE DAYS UNLESS THERE IS SUFFICIENT NATURAL RAINFALL. ONCE A MONTH (MORE FREQUENTLY IN SUMMER), VISUALLY INSPECT VEGETATION FOR DISEASE OR PEST PROBLEMS. IF TREATMENT IS WARRANTED, USE THE LEAST TOXIC APPROACH. TWICE A YEAR, FROM MARCH 15TH TO APRIL 30TH AND OCTOBER 1ST TO NOVEMBER 30TH, REMOVE AND REPLACE ALL DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT. DURING TIMES OF EXTENDED DROUGHT, LOOK FOR PHYSICAL FEATURES OF STRESS (UNREVIVED WILTING, YELLOW, SPOTTED OR BROWN PATCHES ETC.). WATER IN THE EARLY MORNING AS NEEDED. WEED REGULARLY, IF NEEDED.



RAIN GARDEN PROFILE

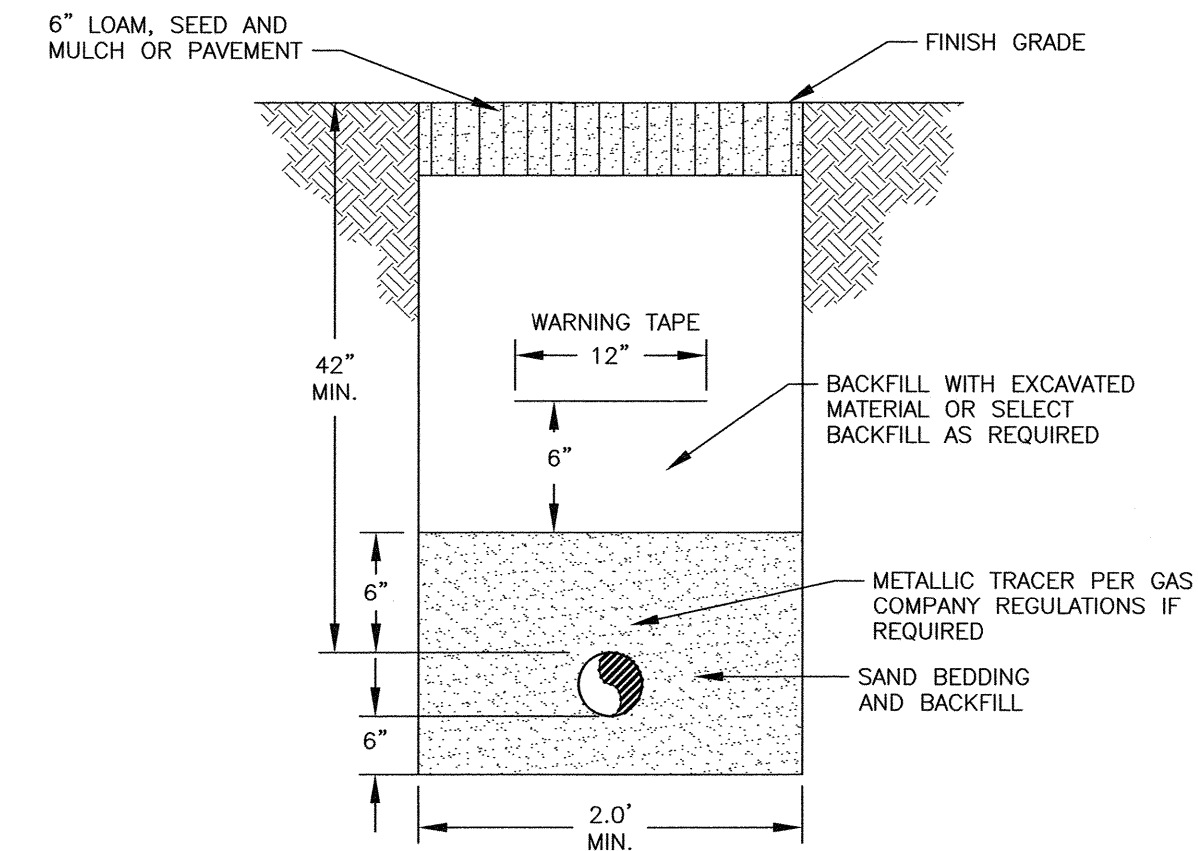
PROPOSED RAIN GARDEN TO BE SEEDED WITH RIPARIAN BUFFER MIX (OR EQUIVALENT) SPACED THROUGHOUT. SEED MIX CAN BE OBTAINED FROM PIERSON NURSERIES, INC., 24 BUZZELL ROAD, BIDDEFORD, ME 04005. 207-499-2994. WWW.PIERSONNURSERIES.COM.

L C3 RAIN GARDEN DETAIL NTS

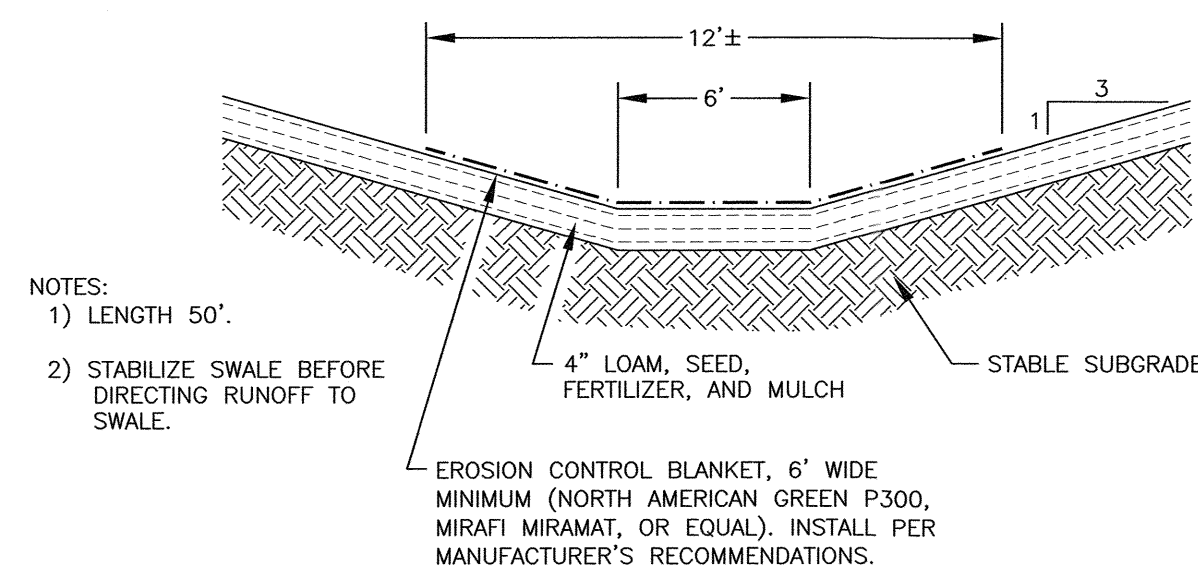


- 1) INLET BASKETS SHALL BE INSTALLED IMMEDIATELY AFTER CATCH BASIN CONSTRUCTION IS COMPLETE AND SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL PAVEMENT BINDER COURSE IS COMPLETE.
- 2) FILTER FABRIC SHALL BE PUSHED DOWN AND FORMED TO THE SHAPE OF THE BASKET. THE SHEET OF FABRIC SHALL BE LARGE ENOUGH TO BE SUPPORTED BY THE BASKET FRAME WHEN HOLDING SEDIMENT AND, SHALL EXTEND AT LEAST 6" PAST THE FRAME. THE INLET BASKET SHALL BE PLACED OVER THE BASKET/FRAME AND WILL SERVE AS THE FABRIC ANCHOR.
- 3) THE FILTER FABRIC SHALL BE A GEOTEXTILE FABRIC: POLYESTER, POLYPROPYLENE, STABILIZED NYLON, POLYETHYLENE, OR POLYVINYLIDENE CHLORIDE MEETING THE FOLLOWING SPECIFICATIONS:
 -RAB STRENGTH: 45 LB. MIN. IN ANY PRINCIPAL DIRECTION (ASTM D1682)
 -MULLEN BURST STRENGTH: MIN. 60 psi (ASTM D774)
- 4) THE FABRIC SHALL HAVE AN OPENING NO GREATER THAN A NUMBER 20 U.S. STANDARD SIEVE AND A MINIMUM PERMEABILITY OF 120 gpm/s.f. (MULTIPLY THE PERMITIVITY IN SEC-1 FROM ASTM 54491-85 CONSTANT HEAD TEST USING THE CONVERSION FACTOR OF 74.)
- 5) THE INLET BASKET SHALL BE INSPECTED WITHIN 24 HOURS AFTER EACH RAINFALL OR DAILY DURING EXTENDED PERIODS OF PRECIPITATION. REPAIRS SHALL BE MADE IMMEDIATELY, AS NECESSARY, TO PREVENT PARTICLES FROM REACHING THE DRAINAGE SYSTEM AND/OR CAUSING SURFACE FLOODING.
- 6) SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT, OR MORE OFTEN IF THE FABRIC BECOMES CLOGGED.

O C3 CATCH BASIN INLET BASKET NTS



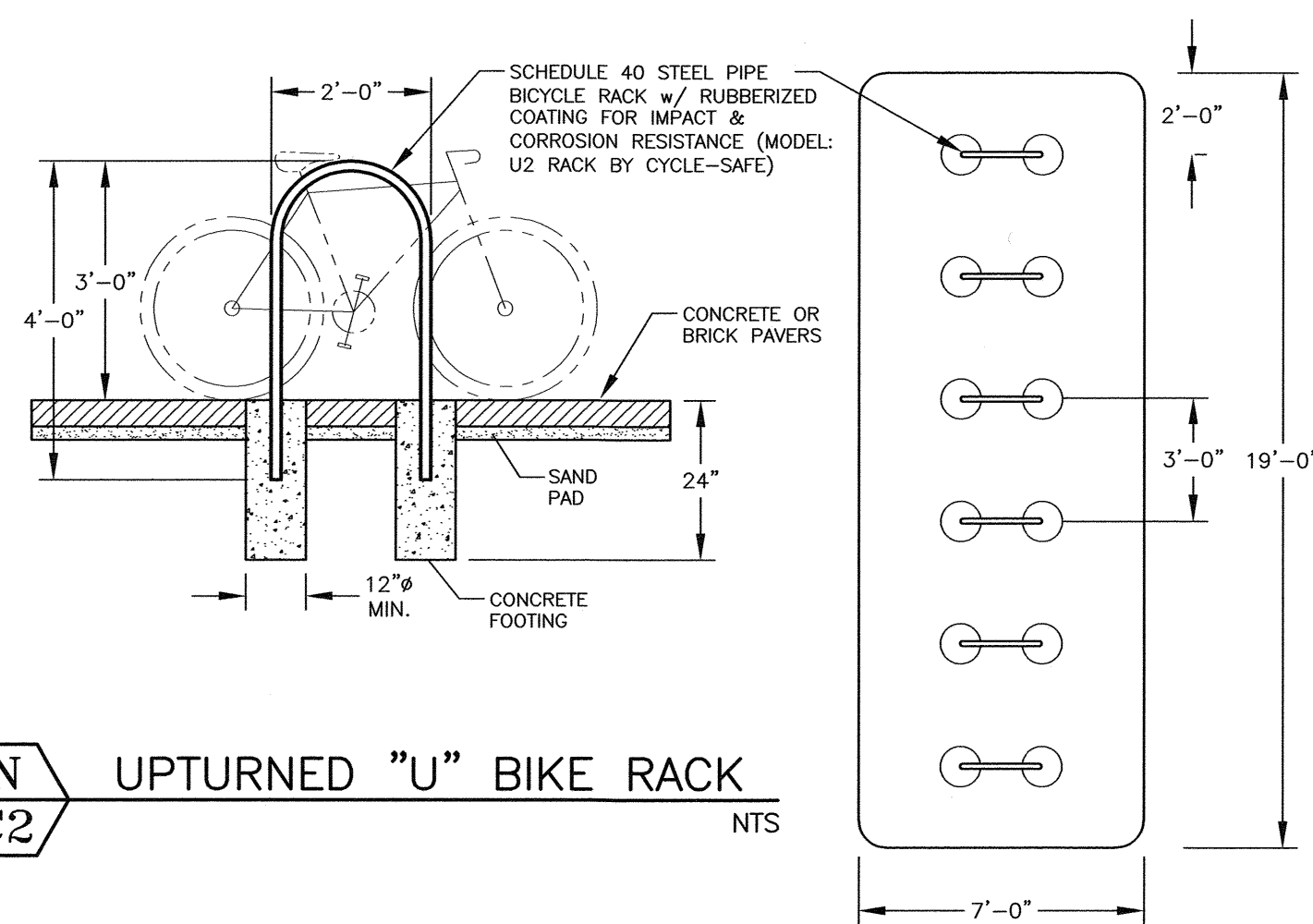
P C4 GAS SERVICE TRENCH POTENTIAL SERVICE TBD NTS



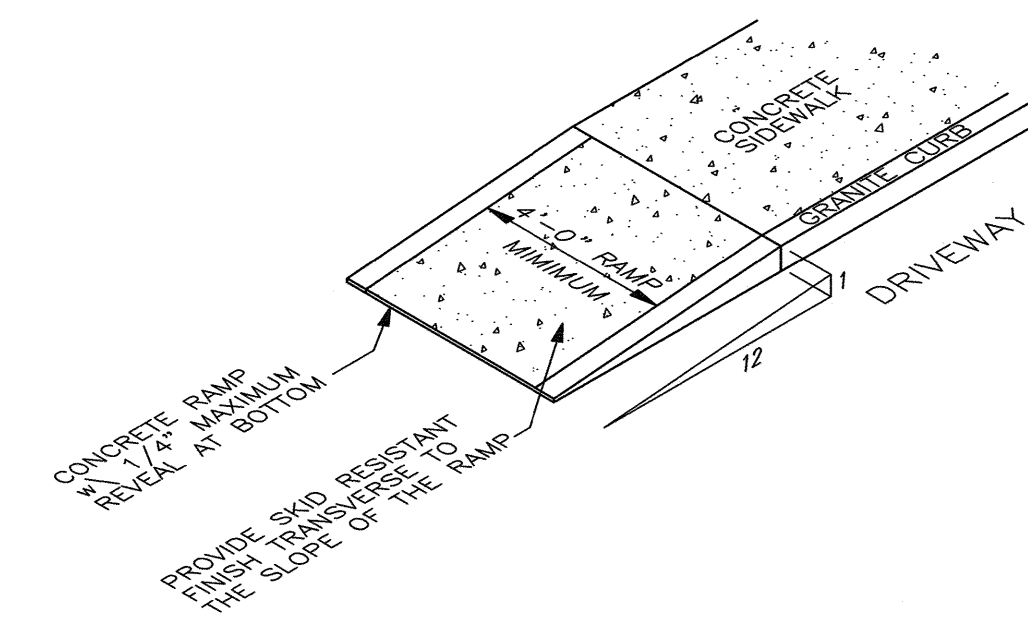
- NOTES:
 1) LENGTH 50'.
 2) STABILIZE SWALE BEFORE DIRECTING RUNOFF TO SWALE.

PROPOSED RAIN GARDEN TO BE SEEDED WITH RIPARIAN BUFFER MIX (OR EQUIVALENT) SPACED THROUGHOUT. SEED MIX CAN BE OBTAINED FROM PIERSON NURSERIES, INC., 24 BUZZELL ROAD, BIDDEFORD, ME 04005. 207-499-2994. WWW.PIERSONNURSERIES.COM.

M C3 VEGETATED SWALE NTS



N C2 UPTURNED "U" BIKE RACK NTS



Q C2 TYPICAL SIDEWALK TIP DOWN NTS

- NOTES:**
- 1) THE CONTRACTOR SHALL NOTIFY DIG SAFE AT 1-888-DIG-SAFE (1-888-344-7233) AT LEAST 72 HOURS PRIOR TO COMMENCING ANY EXCAVATION ON PUBLIC OR PRIVATE PROPERTY.
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No.	DATE	DESCRIPTION	BY	CHK.
2	10/16/24	DETAILS L & M	SJR	JRC
1	09/9/24	DETAILS L & M	EDS	JRC
0	08/08/24	ISSUED FOR COMMENT	SJR	JRC

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SITE PLAN
 GREAT CIRCLE CATERING
 282 CORPORATE DRIVE, PORTSMOUTH, N.H.

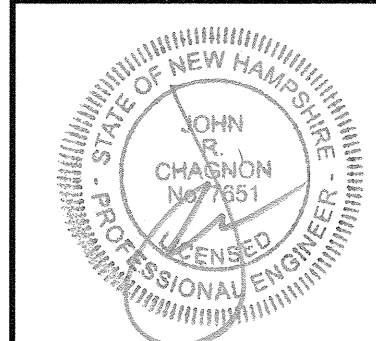
DETAILS

DATE: MAY 2024 SCALE: NTS

DRAWN BY: SJR DESIGNED BY: JRC CHECKED BY: JRC

PROJECT No.: 5010175.843.03 FIELD BOOK & PAGE: FB 85 PG 1

DRAWING No.: SHEET 7 REV: D3





R7-8a
12" x 18"
SIGN ON BOLLARD

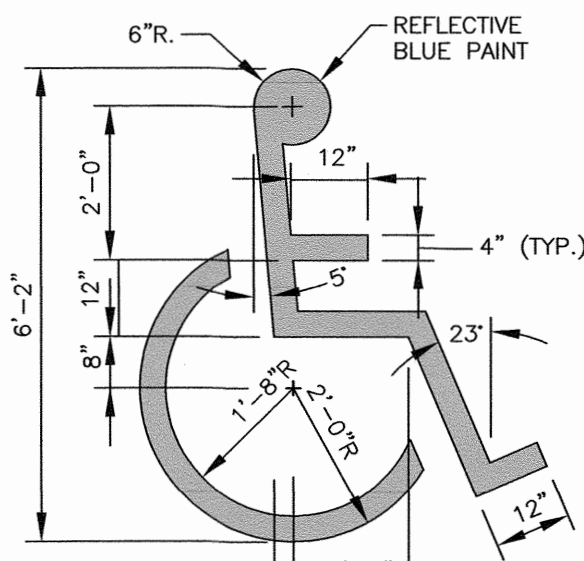
EACH SPACE
SHALL HAVE
THIS SIGN
DISPLAYED PER
ADA CODE

SIGNAGE

LEGEND SYMBOL



PROVIDE SIGN AND
BOLLARD (PER ADA
CODE) AT EACH HANDICAP
ACCESSIBLE SPACE



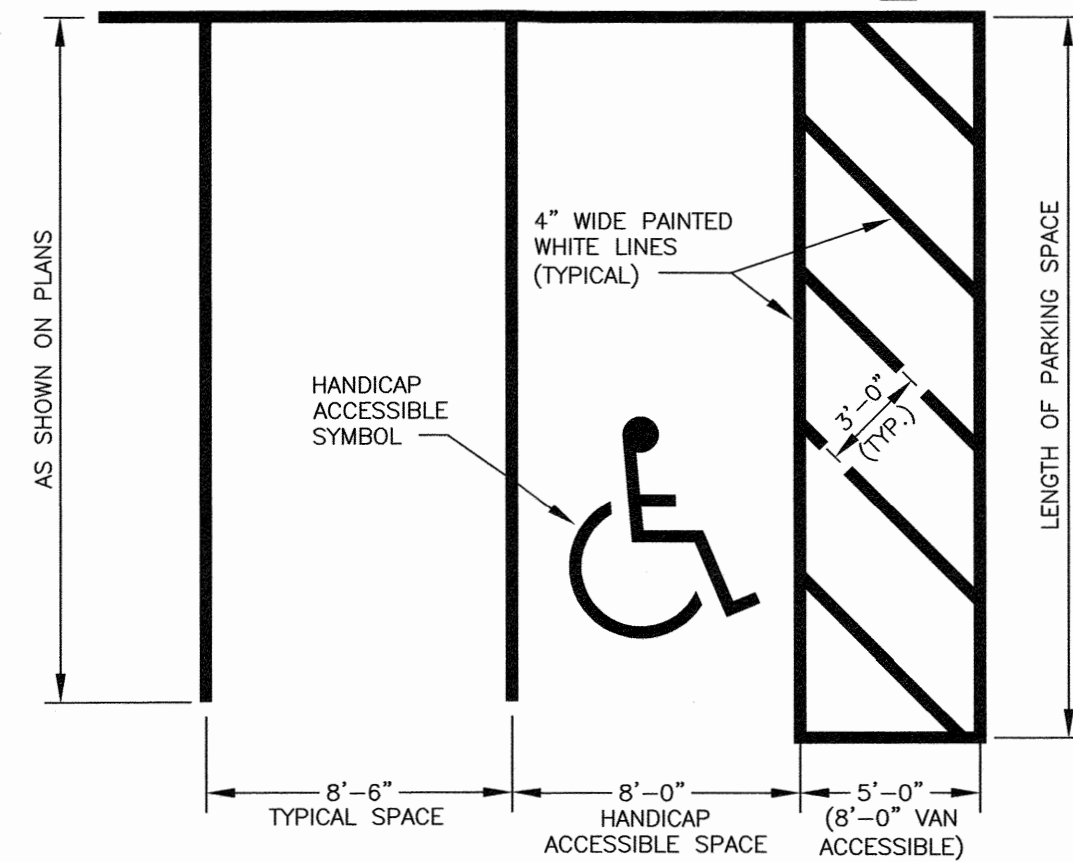
HANDICAP ACCESSIBLE SYMBOL



K-4438
12" x 18"
SIGN ON BOLLARD

SIGNAGE

HANDICAP ACCESS AISLE
NO PARKING SIGN



NOTES:

- 1) SYMBOL TO BE PAINTED IN ALL HANDICAPPED SPACES.
- 2) SYMBOL, PAINT AND SIGNAGE TO CONFORM TO AMERICANS WITH DISABILITIES ACT (ADA).
- 3) ALL VAN ACCESSIBLE SPACES SHALL HAVE "VAN ACCESSIBLE" PLATE INSTALLED ON SIGN POST BELOW HANDICAP SIGN.

PAVED AREAS NON-PAVED AREAS

EXTEND CONCRETENOSING ABOVE STEEL PIPE-SMOOTH WITH TROWL & PAINT

6" SCHEDULE 40 STEEL PIPE FILLED WITH CONCRETE

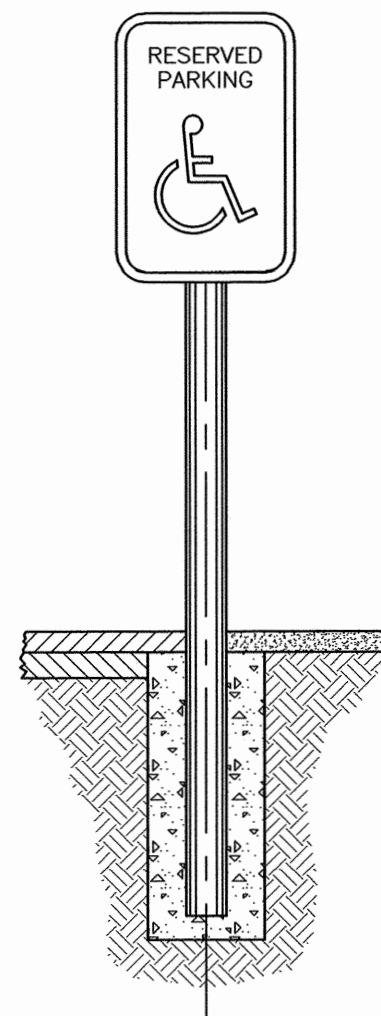
PRIME, AND APPLY 2 COATS OF SAFETY YELLOW EPOXY ENAMEL

PAVEMENT OR CONCRETE (SEE PLAN)

3,000 PSI CONCRETE BASE

4" LOAM & SEED

BOLLARD DETAIL, TYP.



BOLLARD WITH SIGN, TYP.



ADA PARKING DETAIL

NTS

NOTES:

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1	11/05/24	DETAIL R	SJR	JRC
0	08/06/24	ISSUED FOR COMMENT	SJR	JRC
No.	DATE	DESCRIPTION	BY	CHK.

PERMIT PLAN

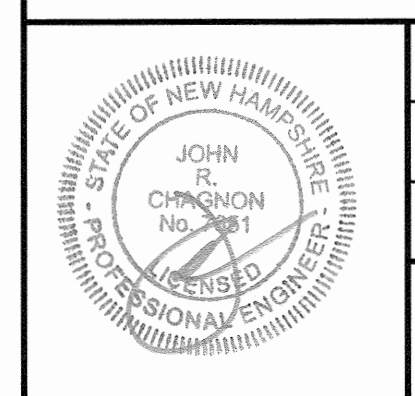
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403.430.9282
WWW.HALEYWARD.COM

SITE PLAN
GREAT CIRCLE CATERING
282 CORPORATE DRIVE, PORTSMOUTH, N.H.

DETAILS

DATE MAY 2024	SCALE SCALE: NTS
DRAWN BY SJR	DESIGNED BY JRC
CHECKED BY JRC	
PROJECT No. 5010175.843.03	FIELD BOOK & PAGE FB 85 PG 1
DRAWING No.	REV.

SHEET 8 D4



IMPACT AREAS IN S.F.	
WETLAND BUFFER PERMANENT IMPACT AREA	4,983
WETLAND BUFFER TEMPORARY IMPACT AREA	1,086
WETLAND IMPACT/ SWALE MAINTENANCE AREA	1,448



- NOTES:**
- 1) PARCEL IS SHOWN ON THE CITY OF PORTSMOUTH ASSESSOR'S MAP 315 AS LOT 2.
 - 2) OWNER OF RECORD:
PEASE DEVELOPMENT AUTHORITY
PEASE INTERNATIONAL TRADEPORT
55 INTERNATIONAL DRIVE
PORTSMOUTH, N.H. 03801-2833
BOOK 2937, PAGE 1960
LEASE HOLDER:
SHAINES & MCEACHERN
282 CORPORATE DRIVE #2
PORTSMOUTH, NH 03801
APPLICANT:
PORT CITY AIR INC.
104 GRAFTON DRIVE
PORTSMOUTH, NH 03801
 - 3) PARCEL IS NOT IN A SPECIAL FLOOD HAZARD ZONE. (ZONE X) AS SHOWN ON FIRM PANEL 33015C0260F. EFFECTIVE DATE 1/29/2021.
 - 4) EXISTING LOT AREA:
226,481 S.F.
5.1993 ACRES
 - 5) PARCEL IS LOCATED IN ZONE (ABC) AIRPORT BUSINESS COMMERCIAL.
 - 6) DIMENSIONAL REQUIREMENTS:
MIN. LOT AREA: 10 ACRES
FRONTAGE: 300 FT
SETBACKS:
FRONT: 70 FT
SIDE: 30 FT
REAR: 50 FT
MAXIMUM STRUCTURE HEIGHT: 85 FT
MAXIMUM BUILDING COVERAGE: 60%
MINIMUM OPEN SPACE: 50%
 - 7) THE PURPOSE OF THIS PLAN IS TO SHOW THE SWALE AND BUFFER IMPACT ON ASSESSOR'S MAP 315 LOT 2 IN THE CITY OF PORTSMOUTH.
 - 8) VERTICAL DATUM IS NAVD88. BASIS OF VERTICAL DATUM IS REDUNDANT RTK GNSS OBSERVATIONS.

0	10/16/24	ISSUED FOR COMMENT	CBA	JRC
No.	DATE	DESCRIPTION	BY	CHK.

DRAWING ISSUE STATUS

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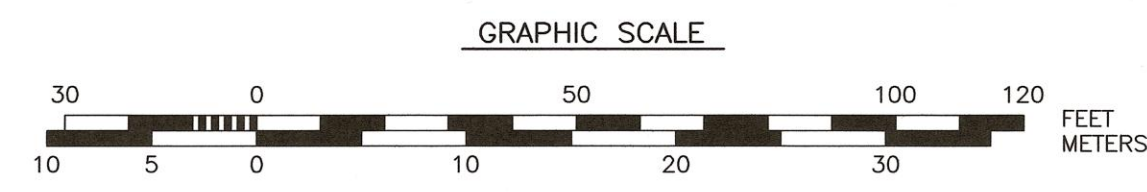
PROJECT

SITE PLAN
GREAT CIRCLE CATERING
282 CORPORATE DRIVE, PORTSMOUTH, N.H.

TITLE

IMPACT PLAN

DATE	MAY 2024	SCALE	SCALE: 1" = 30'
DRAWN BY	CBA	DESIGNED BY	JRC
CHECKED BY	JRC	FIELD BOOK & PAGE	FB 85 PG 1
PROJECT No.	5010175	843.02	
DRAWING No.			
SHEET 9		C5	



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